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Date: May 26, 2004 Planning Commission Meeting

Item No.

## MILPITAS PLANNING COMMISSION AGENDA REPORT

Category: Public Hearing

Report Prepared by: Troy Fujimoto

Public Hearing: Yes:   X   No:       

Notices Mailed On: 5/13/04 Published On: 5/13/04 Posted On: 5/14/04

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**TITLE:** **PLANNED UNIT DEVELOPMENT (PD2002-2) – TIME  
EXTENSION (TE2004-2)**

Proposal: 18-month time extension for a hillside home

Location: 1000 Country Club Drive

APN: 029-03-014

**RECOMMENDATION:** **Recommend Approval to the City Council with Approved  
Conditions**

Applicant: Norm LaCroix, LaCroix Construction Company, 1 N. Main Street,  
Suite 1, Milpitas, CA 95035

Property Owner: Christina Martinez, 1772 Country Club Drive, Milpitas, CA 95035

Previous Action(s): PUD Approval, "S" Zone Amendment, Variance No. 459

General Plan Designation: Hillside – Medium Density

Present Zoning: Single Family Residential-Hillside" ("R1-H")

Existing Land Use: Single Family Home

Agenda Sent To: Applicant & Owner (as noted above)

Attachments: Plans

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### BACKGROUND

The existing single story house on 1000 Country Club Drive was built in the County two years prior to the property's annexation to the City in 1975. In 1989, the previous site owner applied for a variance (No. 459) to locate a detached two-car garage along the crestline approximately 10 ft. from the house. In November 2002, the City Council approved a Planned Unit Development

\*4

application for the demolition of the existing house and construction of a new single-family house.

### Site Description

The subject site is rectangular in shape, 4.6 acres in area and straddles the crestline that separates the Western Face and Eastern Hills portions of the Milpitas Hillside Planning Area. Southwest to northwest-facing slopes vary from moderately steep to steep. The ridge top and northeast side of the ridge have been modified by past grading activities. The grading created a flat area on the ridge top and a flat area in the eastern area of the property.

While the grounds around the house are moderately landscaped, the majority of the site is covered with wild grasses. The land to the west of the crestline is undeveloped grassland. The house's driveway to Country Club Drive is located in the eastern portion of the site.

### Project Description

The applicant proposes to demolish the existing single family home and construct a new 12,570 square foot house. The house is proposed to be located towards the southeast corner of the site. The proposed house has a roughly "L" shaped footprint, with one wing aligned approximately north-south along the crestline right over the existing home's footprint, and the other wing aligned east-west, 40 ft. from the south property line. The proposed driveway starts at the very northeast corner of the site and twists up to the home, where it splits, with the east fork accessing the lower covered motor court and the below-grade garage. The west fork ascends to a circular turn around at the entry level of the new house that is directly above the motor court and garage. The upper driveway turn-around and an intensively landscaped front entry area are located between the wings.

Since the original approval, the applicant has incorporated minor modifications as part of existing conditions of approval, including moving the building footprint to be in conformance with setbacks, building color change, addition of exterior stone work, new fencing, revised fire truck turnaround area and new exterior stairs.

### TIME EXTENSION REQUEST

Pursuant to Zoning Ordinance Section 64.04, the applicant is requesting a time extension of the previous Planned Unit Development application approval. As with any permit approval granted under the terms of the zoning ordinance (such as Use Permit, S-Zone, PUD, Hillside Site and Architecture), a permit expires in eighteen (18) months if not used or exercised. As defined in Section 64.04-2, a permit is "used" or "exercised" if the applicant obtains a building permit and completes a foundation or dedicates any land or easement as required from the zoning action or complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.

The applicant has not "used" or "exercised" their permit as of yet. Since their original approval, the applicant has done the following actions to get to the point of actual construction thus exercising the permit:

- ☐ Filed a Certificate of Compliance with the City.
- ☐ Submitted revised building plans as per Conditions of Approval.

\*4

- ☐ Filed for building permits.

In addition, the applicant has stated that due to the complicated nature of the project, the permitting process was unusually lengthy. The applicant recently received all of their necessary building permits to begin construction, however, since they would not be able to install a foundation prior to the expiration of the permit, the applicant is requesting a time extension of their permit.

## RECOMMENDATION

Recommend to the City Council approval for the request for an 18-month time extension for the Planned Unit Development approval, subject to all previously approved special conditions as listed below.

## FINDINGS

1. The proposed hillside home would not be a danger to public health and safety to residents of the nearby area as the applicant has worked with the City to ensure that all building code and regulations are met.
2. The time extension is in compliance with the City of Milpitas Zoning Ordinance for permit approvals.

## SPECIAL CONDITIONS

1. This Planned Unit Development approval is for a detached, single-family home as defined in the City of Milpitas Zoning Ordinance, and as depicted in the approved plans dated May 26, 2004, and as amended by the approved special conditions. (P)
2. No guest house accessory buildings shall be permitted on this site. (P)
3. Prior to the issuance of a building permit for this project:
  - a. The existing water tank shall be demolished. If a new water tank is proposed at a later date, its review and approval shall be in accordance with both the most current applicable site and architectural review process and "Hillside" District development standards.
  - b. A fencing plan shall be submitted to the Planning Commission Subcommittee for review and approval.
4. All demolition activities shall be in accordance with City policies regarding recycling of demolition materials. (P)
5. Prior to occupancy the existing barn shall be demolished. The demolition of the barn shall be to be in accordance with City policies regarding recycling of demolition materials. (P)
6. The construction plans for this project shall incorporate the geotechnical recommendations contained in the updated geologic hazard evaluation report by John Coyle & Associates (dated August 29, 2002 with the addendum letters dated September 10 & 20, 2002). (P)
7. Prior to issuance of a building permit for this project the applicant shall submit for review and approval by the Planning Commission Subcommittee revised site and architectural plans that reflect the following:

\*4

- a. Relocation of the residence so that it is setback a minimum of 40 ft. from all property lines.
- b. Extension of stone veneer along the building's south elevation.
- c. The location of "building envelope" in accordance with the requirements of Zoning Ordinance Sec. 45-09-4. (P)
8. On-site storm water pollution control and erosion control measures shall be maintained in accordance with the maintenance program specified by Lea & Sung Engineering that was sent to the City of Milpitas on August 22, 2002. (P)
9. If at the time of application for permit there is a project job account past due balance to the City for recovery of review fees, review of permit will not be initiated until the balance is paid in full. (P)
10. The issuance of building permits to implement this land use development will be suspended if necessary to stay within (1) available water supplies, or (2) the safe or allocated capacity at the San Jose/Santa Clara Water Pollution Control Plant, and will remain suspended until water and sewage capacity are available. No vested right to the issuance of a Building Permit is acquired by the approval of this land development. The foregoing provisions are a material (demand/supply) condition to this approval. (E)
11. At the time of building permit plan check submittal, the developer shall submit a grading plan and a drainage study prepared by a registered Civil Engineer. The drainage study shall analyze the existing and ultimate conditions and facilities. The study shall be reviewed and approved by the City Engineer and the developer shall satisfy the conclusions and recommendations of the approved drainage study prior to any building permit issuance. (E)
12. The developer shall not obstruct the noted sight distance areas as indicated on the City standard drawing No. 405. Overall cumulative height of the grading, landscaping & signs as determined by sight distance shall not exceed 2 feet when measured from street. (E)
13. Prior to building permit issuance, developer must pay all applicable development fees, including but not limited to the following:
  - a. Hillside Water Reimbursement Fee = \$12,010
  - b. Water Connection Fee = \$4,900
  - c. Sewer Connection Fee = \$3,060
  - d. Sewer Treatment Plant Fee = \$880
14. The applicant shall install a backflow prevention device per City Standard Drawing No. 734 for water service connection to the City water system. (E)
15. The applicant shall submit an engineering report detailing how adequate water supply pressures will be maintained for potable and fire services. Contact the Utility Engineer at 586-3345 for further information. (E)
16. Based on the information submitted and the City records, this parcel does not appear to be a legal parcel of record. Before building permit issuance, the developer shall submit a title

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PAGE 5 OF 5

P.C. ARS—May 26, 2004

Time Extension for Planned Unit Development at 1000 Country Club Drive

search to establish the legality of this parcel, obtain a Certificate of Compliance or file a parcel map. (E)

17. Prior to any work within the public right-of-way or City easement, the developer shall obtain an encroachment permit from the City of Milpitas Engineering Division. (E)
18. Prior to any building permit issuance, developer shall obtain permit or approval from the Santa Clara Valley Water District for the construction of proposed dissipation device. Contact Santa Clara Valley Water District's Community Project Review Unit at (408) 265-2607, for information and permitting process. (E)

(P) = Planning Division

(E) = Engineering Division

## general notes

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA ELECTRICAL CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA GAS CODE, THE CALIFORNIA FIRE CODE, THE CALIFORNIA SAFETY CODE, THE CALIFORNIA ENVIRONMENTAL CODE, THE CALIFORNIA LAND USE CODE, THE CALIFORNIA ZONING CODE, THE CALIFORNIA PLANNING CODE, THE CALIFORNIA TRANSPORTATION CODE, THE CALIFORNIA UTILITIES CODE, THE CALIFORNIA TELECOMMUNICATIONS CODE, THE CALIFORNIA AEROSPACE CODE, THE CALIFORNIA MARITIME CODE, THE CALIFORNIA AGRICULTURE CODE, THE CALIFORNIA MINING CODE, THE CALIFORNIA FORESTRY CODE, THE CALIFORNIA FISHERIES CODE, THE CALIFORNIA WILDLIFE CODE, THE CALIFORNIA NATURAL RESOURCES CODE, THE CALIFORNIA HISTORIC PRESERVATION CODE, THE CALIFORNIA MONUMENTS CODE, THE CALIFORNIA ANTIQUITIES CODE, THE CALIFORNIA ARCHITECTURAL CODE, THE CALIFORNIA LANDMARKS CODE, THE CALIFORNIA MONUMENTS CODE, THE CALIFORNIA ANTIQUITIES CODE, THE CALIFORNIA ARCHITECTURAL CODE, THE CALIFORNIA LANDMARKS CODE.
2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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## plumbing and mechanical deferred submittals

- PLEASE PROVIDE 2 SETS OF WORKING DRAWINGS FOR THE PLUMBING, MECHANICAL AND ELECTRICAL CHANGES TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL. PLANS SHALL BE SUBMITTED TWO WEEKS PRIOR TO THE REQUEST OF DEFERRAL FOR THE DEFERRED PLANS-MILPITAS CODE 11-115.02
- PLUMBING**
- A. DRAIN, WASTE AND VENT  
Provide PLAIN VIEW and ISOMETRIC drawings for the proposed work. Provide abbreviation schedule, symbol schedule, pipe material schedule, fixture schedule, fixture data schedule and all design information required for the work. The design shall conform with UPC Chapter 7. Provide details as required. The plans shall show fixture unit count for each hot water branch, pipe size, fixture location, cleanout location, cleanout slope and points of connection.
  - B. WATER SYSTEM  
Provide PLAIN VIEW and ISOMETRIC drawings for the proposed work. Provide abbreviation schedule, symbol schedule, pipe material schedule, fixture schedule, fixture data schedule and all design information required for the work. The design shall conform with UPC Chapter 7. Provide details as required. The plans shall show the total developed length (feet) for each branch, the pipe size and the fixture location.
  - C. GAS SYSTEM  
Provide PLAIN VIEW and ISOMETRIC drawings for the proposed work. Provide abbreviation schedule, symbol schedule, pipe material schedule, fixture schedule, fixture data schedule and all design information required for the work. The design shall conform with UPC Chapter 7. Provide details as required. The plans shall show the total developed length (feet) for each branch, the pipe size and the fixture location.
  - D. MECHANICAL HVAC  
Provide PLAIN VIEW PLAN for the proposed work. Provide abbreviation schedule, symbol schedule, and equipment schedule. The plans shall include the duct length and size, the register/box size and location, the return air location, and the static pressure in the ductwork.
  - E. MECHANICAL EXHAUST  
Provide PLAIN VIEW PLAN for the proposed work. Provide abbreviation schedule, symbol schedule, and equipment schedule. The plans shall include the duct length and size, the register/box size and location, the return air location, and the static pressure in the ductwork.
  - F. RADIANT HEATING  
Provide a complete set of drawings for the installation of the proposed radiant heating system.

## drawing index

- T1 Title Sheet**
- CIVIL**
- C-1 Civil Title Sheet
  - C-2 Site Layout Plan
  - C-3 Overall Site Plan
  - C-4 Grading & Drainage Plan (House)
  - C-5 Grading & Drainage Plan (Driveway)
  - C-6 Driveway Plan & Profile
  - C-7 Site Cross Sections
  - C-8 Details
  - C-9 Grading Specifications
  - ER-1 Erosion Control
- ARCHITECTURAL**
- A1 Entry Level Floor Plan
  - A2 Lower Level Floor Plan
  - A3 Garage Level Floor Plan
  - A4 Exterior Elevations
  - A5 Exterior Elevations
  - A6 Cross Sections
  - A7 Cross Sections
  - A8 Cross Sections
  - A9 Entry Level Reflected Ceiling Plan
  - A10 Lower Level Reflected Ceiling Plan
  - A11 Roof Plan
  - A12 Exterior Details

- STRUCTURAL**
- S1 Structural Specifications, Notes & Schedules
  - S2 Garage/Basement Foundation Plan
  - S3 Garage Roof/Lower Floor Framing Plan
  - S4 Lower Roof/Entry Level Floor Framing & Foundation
  - S5 High Roof Framing Plan
  - S6 Garage Sections & Details
  - S7 Full Height Sections & Details
  - S8 Floor Framing Sections & Details
  - S9 Misc. Sections & Details
  - S10 Roof Framing Sections & Details
  - S11 Misc. Sections & Details
  - S12 Misc. Sections & Details
  - S13 Misc. Sections & Details
  - S14 Misc. Sections & Details
  - S15 Misc. Sections & Details
  - S16 Misc. Sections & Details
  - S17 Misc. Sections & Details
  - S18 Misc. Sections & Details

- ELECTRICAL**
- EM1 Entry Level Electrical / Mechanical Plan
  - EM2 Lower Level Electrical / Mechanical Plan
  - EM3 Garage Level Electrical / Mechanical Plan
  - T24 Energy Compliance

# MARTINEZ RESIDENCE

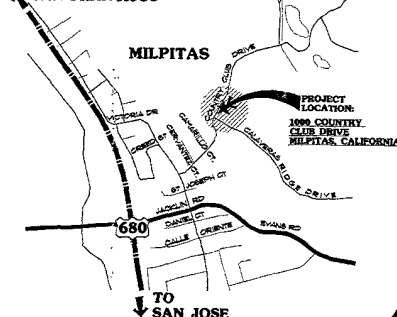
1000 Country Club Drive  
Milpitas, California

Designer/Builder  
LaCroix Const. Co., Inc.  
1 North Main St., Ste. 1  
Milpitas, California 95035  
408-263-5344

## consultants

- CIVIL ENGINEER**  
LEA & SUNG ENGINEERING, INC.  
2945 INDUSTRIAL PARKWAY WEST  
HAYWARD, CALIFORNIA 94545  
510-887-4086
- STRUCTURAL ENGINEER**  
PEOPLES ASSOCIATES STRUCTURAL ENG.  
529 S. MAIN STREET  
MILPITAS, CALIFORNIA 95035-5320  
408-957-9220
- TITLE 24 DOCUMENTATION**  
BAUMANN ENERGY CALC. COMPANY  
P. O. BOX 2261  
FREMONT, CA 94536  
510-795-1545
- SOILS ENGINEER**  
ENGEOTECH, INC.  
186 S. HILLVIEW DRIVE  
MILPITAS, CA 95035  
408-946-3857
- LANDSCAPE DESIGN**  
RALPH SHERMAN ASSOCIATES  
2112 KARA PLACE  
LIVERMORE, CALIFORNIA 94550  
925-443-7941

## vicinity map



## owner data

Ms. Cristina Martinez  
Century 21, North Valley  
1699 N. Capitol Avenue, Ste. 30  
San Jose, California  
408-934-2000

## lot data

APR: 029-03-014  
ZONING: Hillside  
LOT SIZE: 201,247 Sq. Ft. (4.62 Acres)  
LOT: 1000 Country Club Drive  
Milpitas, California

## BUILDING AREA BREAKDOWN:

Single Family Residence w/ Basement & Underground Garage	8273 S.F.
Main (Entry Level):	1485 S.F.
Lower Level Conditioned (Above Grade)	9758 S.F.
Total Conditioned (Above Grade)	
Basement (Conditioned)	3234 S.F.
Pool Enclosure (Unconditioned)	1270 S.F.
Mechanical/ Storage (Unconditioned, Below Grade)	1443 S.F.
Existing Living Space to be Demolished	3700 S.F.



800 SANTA TERESA BLVD. SUITE 2  
SAN JOSE, CALIFORNIA 95128  
PHONE: (408) 227-4400  
FAX: (408) 227-4400  
E-MAIL: stotterdesigngroup.com

REVISIONS

NO.	DATE	DESCRIPTION
1	12/10/03	PLAN OK
2	12/10/03	PLAN OK

REVISIONS

NO.	DATE	DESCRIPTION
1	12/10/03	PLAN OK
2	12/10/03	PLAN OK

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1	12/10/03	PLAN OK
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REVISIONS

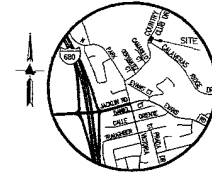
NO.	DATE	DESCRIPTION
1	12/10/03	PLAN OK
2	12/10/03	PLAN OK

T1

# MARTINEZ RESIDENCE

## 1000 COUNTRY CLUB DRIVE

### MILPITAS CALIFORNIA



VICINITY MAP  
NO SCALE

#### REFERENCES

- THIS DRAINAGE PLAN IS SUPPLEMENTAL TO:
- 1) TOPOGRAPHIC SURVEY BY ALEXANDER & ASSOCIATES, ENTITLED: "TOPOGRAPHIC SURVEY" 1000 COUNTRY CLUB DR. MILPITAS, CALIFORNIA JOB # 0206 DATE: 4-05-02
  - 2) SITE PLAN BY STOTLER DESIGN GROUP ENTITLED: "SITE PLAN" MARTINEZ RESIDENCE 1000 COUNTRY CLUB DR. MILPITAS, CALIFORNIA
  - 3) LANDSCAPE PLANS BY RALPH SHERMAN ENTITLED: "LANDSCAPE PLANS" MARTINEZ RESIDENCE 1000 COUNTRY CLUB DR. MILPITAS, CALIFORNIA
- THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

#### SITE BENCHMARK:

SANITARY SEWER MANHOLE AT END OF DRIVEWAY & COUNTRY CLUB DR. ELEV. = 419.26

#### BENCHMARK FOR TOP:

THE ELEVATIONS SHOWN HEREON WERE BASED ON SANTA CLARA COUNTY DATUM, BENCHMARK TAKEN AT THE MONUMENT 0.2 MILE EAST OF THE INTERSECTION OF NORTH PARK VICTORIA RD. AND COUNTRY CLUB DRIVE, 50' NORTH OF PUMPING STATION. ELEV. = 220.869

#### BASIS OF BEARING:

THE BEARINGS SHOWN HEREON WERE BASED ON RECORD OF SURVEY RECORDED IN BOOK 253 OF MAPS AT PAGE 48, SANTA CLARA COUNTY RECORDS.

#### IMPERVIOUS SURFACE CALCULATION

AREA	SGR FT
BUILDING FOOTPRINT	9937
DRIVEWAY	8920
PATIO, STEPS AND WALKWAYS	1044
WATER FEATURE	497
TOTAL	19978

#### ESTIMATED EARTHWORK QUANTITIES

	CUT	FILL
WITHIN BUILDING FOOTPRINT	2870 C.Y.	
OUTSIDE BUILDING FOOTPRINT	1580 C.Y.	4450 C.Y.
BALANCE ON SITE		
CONTRACTOR TO VERIFY QUANTITIES		
TOTAL AREA DISTURBED	1.69 AC	

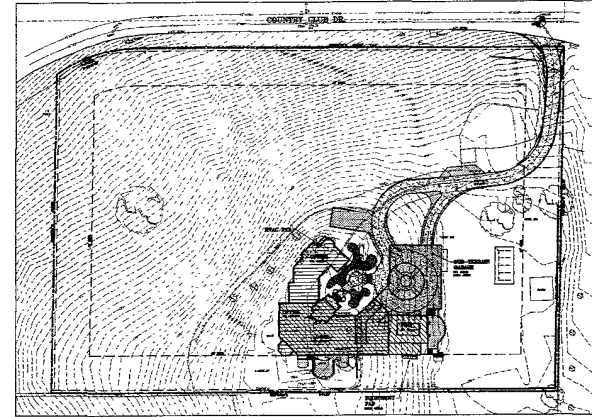
#### SHEET INDEX

SHEET NO.	DESCRIPTION
C-1	TITLE SHEET
C-2	SITE LAYOUT PLAN
C-3	OVERALL SITE PLAN
C-4	GRAVING & DRAINAGE PLAN (HOUSE)
C-5	GRAVING & DRAINAGE PLAN (DRIVEWAY)
C-6	DRIVEWAY PLAN & PROFILE
C-7	SITE CROSS SECTIONS
C-8	DETAILS
C-9	GRAVING SPECIFICATIONS
ER-1	EROSION CONTROL

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	MASONRY RETAINING WALL
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	OVERHEAD ELECTRICAL LINE
---	---	FENCE
---	---	SWALE FLOW DIRECTION
---	---	CONCRETE
---	---	AC PAVING
---	---	GRASS PAVE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	FREE HYDRANT
---	---	JOINT POLE
---	---	GUY ANCHOR
---	---	UTILITY VAULT
---	---	UTILITY VAULT
---	---	SET 2"x2" WOOD HUB
---	---	SURVEY MONUMENT
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE

#### ABBREVIATIONS

A.B.	AGGREGATE BASE	M.H.	MANHOLE
A.C.	ASPHALT CONCRETE	M.N.	MINIMUM
B.C.	AREA DRAIN	M.O.	MONUMENT
B.A.D.	BEGINNING OF CURVE	N.O.	NEW
B.M.	BEARING & DISTANCE	N.T.S.	NOT TO SCALE
B.W.	BOTTOM OF WALL	O.C.	ON CENTER
C.B.	CATCH BASIN	O/V	OVER
C & G	CURB AND GUTTER	P.A.	PLANTING AREA
C.	CENTER LINE	P.D.	PEDESTRIAN
C.C.	CLEAN OUT	P.S.E.	PROPERTY SERVICE EASEMENT
CONC.	CONCRETE	P.	POWER POLE
COR.	CORNER	P.U.E.	PUBLIC UTILITY EASEMENT
CY.	CUBIC YARD	P.V.	POLYVINYL CHLORIDE
D.	DIAMETER	R	RADIUS
D.I.	DROP INLET	R.C.P.	REINFORCED CONCRETE PIPE
D.L.P.	DUCTILE IRON PIPE	R.M.	RETAINING WALL
E.A.	EACH	R/W	RIGHT OF WAY
EC	END OF CURVE	S	SLOPE
EP	ELEVATION	SAN.	SANITARY
EQ	EDGE OF PAVEMENT	S.D.M.H.	STORM DRAIN MANHOLE
EX	EXISTING	SH	SHEET
FD	FACE OF CURB	SPC	SPECIFICATION
FG	FINISHED FLOOR	SS	SANITARY SEWER
FL	FINISHED GRADE	SSM	SANITARY SEWER MANHOLE
FL	FINISHED GRADE	ST	STREET
G	GRADE OR GAUGE	STD	STANDARD
GA	GRADE BREAK	STR.	STRUCTURAL
GB	GRADE BREAK	TC	TOP OF CURB
H.D.P.E.	HIGH DENSITY POLYETHYLENE PIPE	TEMP.	TEMPORARY
HORIZ	HORIZONTAL	T.P.	TOP OF PAVEMENT
HI P.T.	HIGH POINT	T.W.	TOP OF WALL
LD	LAND	TYP.	TYPICAL
INV.	INVERT ELEVATION	P.U.E.	PUBLIC UTILITY EASEMENT
JUN	JUNCTION BOX	V.C.	VERTICAL CURVE
J.P.	JOINT UTILITY POLE	VCP	VERTICAL CLAY PIPE
L	LENGTH	VERT.	VERTICAL
LANDG	LANDING	W/H	WATER LINE
LINEAL	LINEAL FEET	W.M.	WATER METER
LF	LINEAL FEET		
MAX	MAXIMUM		



KEY MAP  
SCALE: 1"=60'

#### GENERAL

1. INCLUDE ANY NECESSARY DETAILS AND SPECIFICATIONS WITH THE PLANS IF THEY ARE NOT CITY STANDARDS OR APPROVED EQUALS.
2. SHOW THE LOCATIONS OF ALL EXISTING AND PROPOSED PUBLIC FACILITIES (STREETS-INCLUDE STREET NAME (ALSO STATE PRIVATE STREET IF PRIVATE MAINTAINED ROAD), STREET LIGHT, STORM DRAIN, SEWER, WATER, ETC.), AND ANY PROPOSED CONNECTIONS TO PUBLIC FACILITIES.
3. SHOW ALL EXISTING AND ANY PROPOSED EASEMENT OR RIGHT OF WAY DEDICATION ON PLANS.
4. PRIOR TO THE START OF ANY WORK WITHIN THE CITY RIGHT OF WAY (PUBLIC STREET OR EASEMENT), THE DEVELOPER/CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT. ALSO INCLUDE OTHER PUBLIC WORK GENERAL CONSTRUCTION NOTES - SEE ENGINEERING PLANS AND MAP PROCEDURES AND GUIDELINES.

#### WATER

1. SHOW THE SIZE(S) AND LOCATION(S) OF ALL EXISTING AND PROPOSED WATER MAINS, SERVICES, METERS(S) AND BACKFLOW DEVICES(S) ON THE PLANS. ALSO, SHOW DEPTH AND MATERIAL OF EXISTING MAIN FOR MET/HOT TAPS OR ISOLATION VALVES FOR CUTTING IN TEES.
2. DOMESTIC WATER METERS - ADD NOTE: INSTALL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE AS PER CITY STANDARD DRAWING #724.
3. FIRE SERVICES - ADD NOTE: INSTALL DETECTOR CHECK VALVE FOR CITY STANDARD DRAWING #730 FOR COMMERCIAL/INDUSTRIAL USE. LOOPED FIRE SERVICES REQUIRE DOUBLE CHECK DETECTOR CHECK VALVE.
4. INDICATE ANY EXISTING WELLS(S) TO BE MAINTAINED OR ABANDONED IN ACCORDANCE WITH SANTA CLARA VALLEY WATER DISTRICT AIR GAP OR REDUCED BACKFLOW PROTECTION IS ALSO REQUIRED FOR ALL ACTIVE (NON-SEALED) WELLS.

#### SEWER

1. SHOW SIZE(S) AND LOCATION(S) OF EXISTING AND PROPOSED MAINS, LATERAL(S), CLEAN OUT(S) AND ANY NECESSARY SEWER BACKFLOW DEVICES(S) ON THE PLANS.
2. RESIDENTIAL DEVELOPMENTS REQUIRE A 4" SEWER LATERAL AND CLEANOUT AS PER CITY STANDARD DRAWING #620, SHEET 1.
3. SHOW THE LOWEST FINISH FLOOR ELEVATION OF THE STRUCTURE AND THE FIN ELEVATION OF NEAREST UPSTREAM SANITARY MANHOLE ON THE PLANS. IF THE LOWEST FLOOR ELEVATION IS LESS THAN ONE FOOT ABOVE THE FIN ELEVATION OF THE NEAREST UPSTREAM MANHOLE, THEN A BACKFLOW PREVENTER PER CITY STANDARD DRAWING #624 IS REQUIRED.
4. APPLICANT SHALL CONTACT THE SAN JOSE/SANTA CLARA WATER POLLUTION CONTROL PLANT (408/500-408-9445-3300) FOR THEIR REQUIREMENTS ON PLAN APPROVAL.

#### STORM

1. SHOW SIZE(S) AND LOCATION(S) OF ALL EXISTING AND PROPOSED STORM WATER FACILITIES ON THE PLANS.
2. SHOW HOW ALL ON-SITE DRAINAGE IS CONVEYED OFF-SITE (STREET, GREEN BELT, ETC.) INCLUDING CONNECTIONS TO THE CITY STORM DRAIN SYSTEM INCLUDING CREEK AND CHANNELS. ALSO SHOW THE LOCATIONS AND SIZES OF ALL INLETS, DISSEMPATERS, PIPES, THROUGH CURB DRAINS, ETC.

#### DRIVEWAY

1. SHOW WIDTH(S) AND LOCATION(S) OF ALL EXISTING AND PROPOSED DRIVEWAY(S) ON THE PLANS.

#### GENERAL NOTES

ALL GENERAL NOTES, SHEET NOTES, AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY. TYPICALLY THROUGHOUT IF INCONGENITUDES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ENGINEER IMMEDIATELY IN WRITING REQUESTING CLARIFICATION.

THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL REMAIN THE PROPERTY OF LEA & SUNG ENGINEERING, INC. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY ANY PERSONS ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ENGINEER.

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK INCLUDING, BUT NOT LIMITED TO, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALIFORNIA STANDARDS AND SPECIFICATIONS, AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED, PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY NOTIFY THE ENGINEER FOR CORRECTION OR ADJUSTMENT. THE EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERROR.

ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE/SHE BEGINS HEAVY WORK. ANY ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/CONTRACTOR BEFORE CONSTRUCTION BEGINS.

COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.

NOTE:  
A PUBLIC WORKS ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN CITY RIGHT-OF-WAY OR EASEMENT. CONTRACTOR SHALL SUBMIT 3 SETS OF APPROVED PLANS WITH COMPLETED / SIGNED ENCROACHMENT PERMIT APPLICATION INCLUDING INSURANCE, LICENSE (CITY BUSINESS, CONTRACTOR) INFORMATION TO LAND DEVELOPMENT FOR PROCESSING.

NOTE:  
CONTRACTOR SHALL CONTACT THE STREET LANDSCAPING SECTION AT 408-586-2501 TO OBTAIN THE REQUIREMENTS AND FORMS FOR REMOVAL OF ANY EXISTING TREE(S).



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**MARTINEZ RESIDENCE**  
**1000 COUNTRY CLUB DR.**  
**MILPITAS, CALIFORNIA**

SANTA CLARA COUNTY  
APR 028-03-04

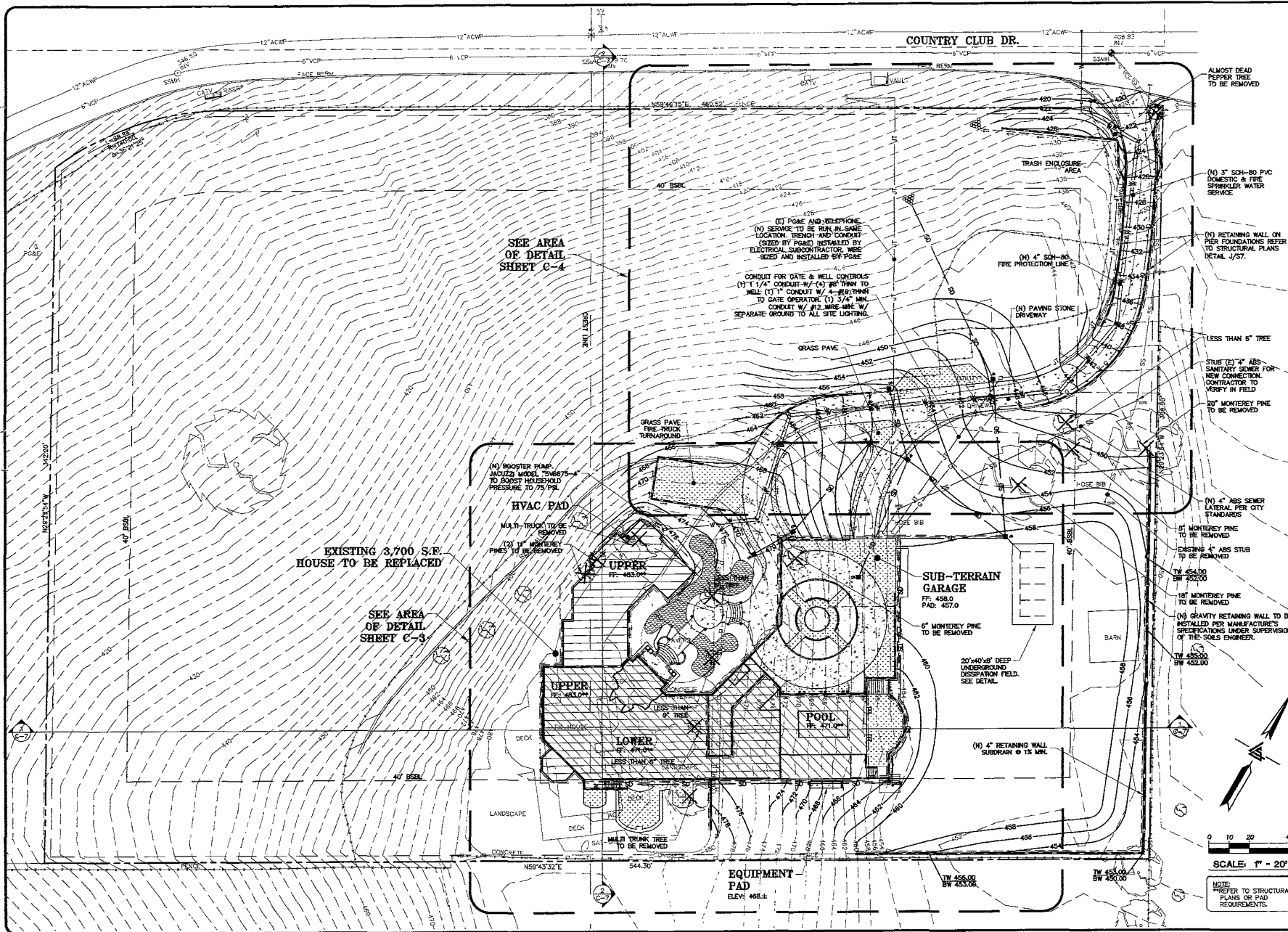
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REVISIONS	BY	DATE
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20	WC	6-11-03

**C-1**  
OF 10 SHEETS







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APR. 02-03-04

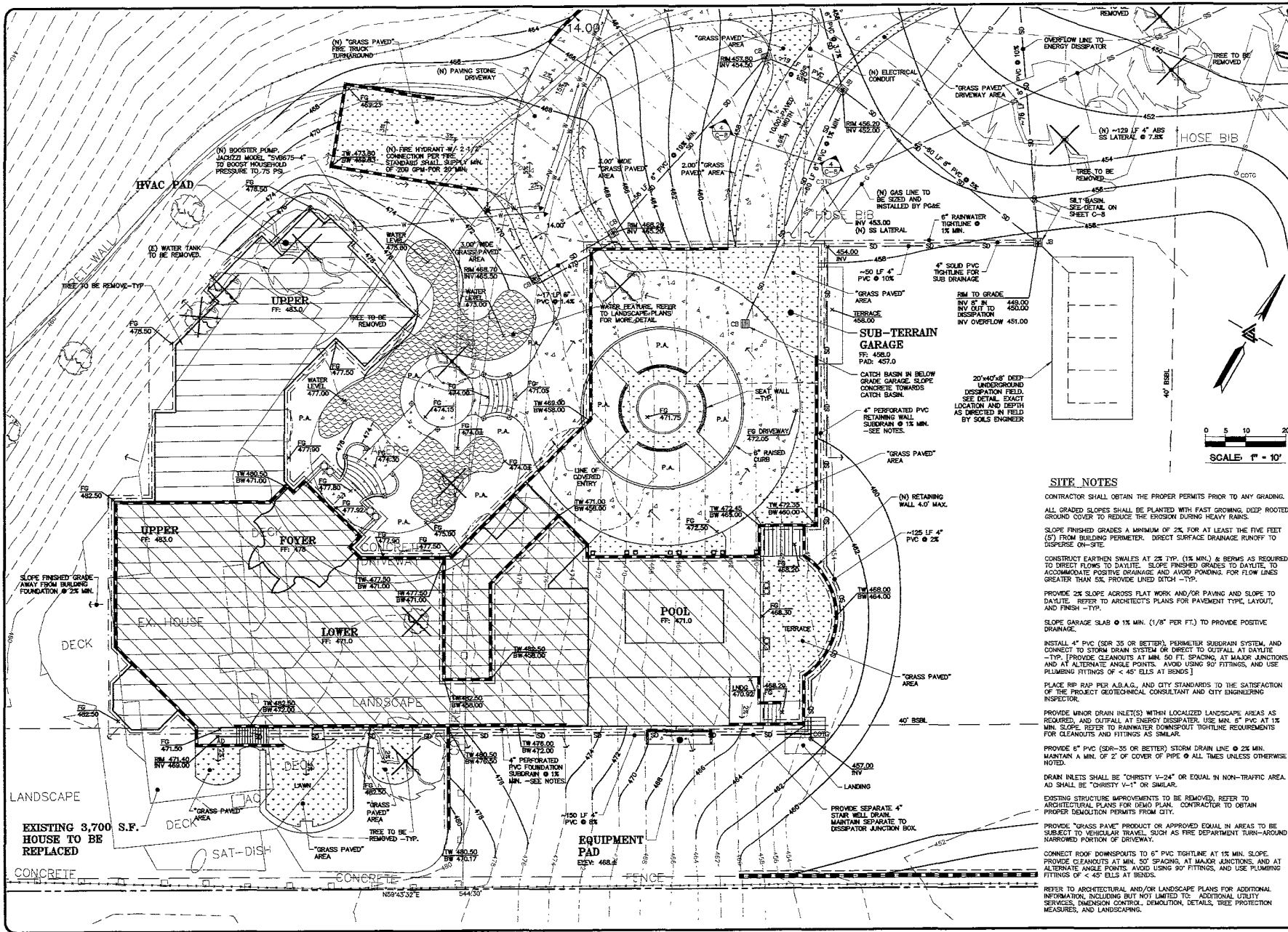
SANTA CLARA COUNTY

**OVERALL SITE PLAN**

**SCALE: 1" = 20'**



OF 10 SHEETS



# **SITE NOTES**

CONTRACTOR SHALL OBTAIN THE PROPER PERMITS PRIOR TO ANY GRADING.

ALL GRADED SLOPES SHALL BE PLANTED WITH FAST GROWING, DEEP ROOTED GROUND COVER TO REDUCE THE EROSION DURING HEAVY RAINS.

SLOPE FINISHED GRADES A MINIMUM OF 2% FOR AT LEAST THE FIVE FEET (5') FROM BUILDING PERIMETER. DIRECT SURFACE DRAINAGE RUNOFF TO DISPERSE ON-SITE.

CONSTRUCT EARTHEN SWALES AT 2% TYP. (1% MIN.) & BERMS AS REQUIRED TO DIRECT FLOWS TO DAYLITE. SLOPE FINISHED GRADES TO DAYLITE TO ACCOMMODATE POSITIVE DRAINAGE AND AVOID PONDING. FOR FLOW LINES GREATER THAN 5% PROVIDE LINED DITCH -TYP.

PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING AND SLOPE TO DAYLITE. REFER TO ARCHITECT'S PLANS FOR PAVEMENT TYPE, LAYOUT, AND FINISH -TYP.

SLOPE GARAGE SLAB @ 1% MIN. (1/8" PER FT.) TO PROVIDE POSITIVE DRAINAGE.

INSTALL 4" PVC (SDR 35 OR BETTER), PERIMETER SUBDRAIN SYSTEM, AND CONNECT TO STORM DRAIN SYSTEM OR DIRECT TO OUTFALL AT DAYLITE -TYP. [PROVIDE CLEANOUTS AT MIN. 50' FT. SPACING, AT MAJOR JUNCTIONS, AND AT ALTERNATE ANGLE POINTS. AVOID USING 90° FITTINGS, AND USE PLUMBING FITTINGS OF < 45° ELLS AT BENDS.]

PLACE RIP RAP PER A.B.A.G. AND CITY STANDARDS TO THE SATISFACTION OF THE PROJECT GEOTECHNICAL CONSULTANT AND CITY ENGINEERING INSPECTOR.

PROVIDE MINOR DRAIN INLETS(S) WITHIN LOCALIZED LANDSCAPE AREAS AS REQUIRED, AND OUTFALL AT ENERGY DISSIPATOR. USE MIN. 6" PVC AT 1% MIN. SLOPE. REFER TO RAINWATER DOWNSPOUT TIGHTLINE REQUIREMENTS FOR CLEANOUTS AND FITTINGS AS SIMILAR.

PROVIDE 6" PVC (SDR-35 OR BETTER) STORM DRAIN LINE @ 2% MIN. MAINTAIN A MIN. OF 2' OF COVER OF PIPE @ ALL TIMES UNLESS OTHERWISE NOTED.

DRAIN INLETS SHALL BE "CHRISTY V-24" OR EQUAL IN NON-TRAFFIC AREA. AD SHALL BE "CHRISTY V-1" OR SIMILAR.

EXISTING STRUCTURE IMPROVEMENTS TO BE REMOVED, REFER TO ARCHITECTURAL PLANS FOR DEMO PLAN. CONTRACTOR TO OBTAIN PROPER DEMOLITION PERMITS FROM CITY.

PROVIDE "GRASS PAVE" PRODUCT OR APPROVED EQUAL IN AREAS TO BE SUBJECT TO VEHICULAR TRAVEL, SUCH AS FIRE DEPARTMENT TURN-AROUND BARRIQUADE PORTION OF DRIVEWAY.

CONNECT ROOF DOWNSPOUTS TO 6" PVC TIGHTLINE AT 1% MIN. SLOPE. PROVIDE CLEANOUTS AT MIN. 50' SPACING, AT MAJOR JUNCTIONS, AND AT ALTERNATE ANGLE POINTS. AVOID USING 90° FITTINGS, AND USE PLUMBING FITTINGS OF < 45° ELLS AT BENDS.

REFER TO ARCHITECTURAL AND/OR LANDSCAPE PLANS FOR ADDITIONAL INFORMATION, INCLUDING BUT NOT LIMITED TO: ADDITIONAL UTILITY SERVICES, DIMENSION CONTROL, DEMOLITION, DETAILS, TREE PROTECTION MEASURES, AND LANDSCAPING.

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**1000 COUNTRY CLUB DR.**  
**MILPITAS, CALIFORNIA**

**GRADING & DRAINAGE PLAN**  
**(HOUSE AREA)**

DATE: 03-03-04  
SANTA CLARA COUNTY

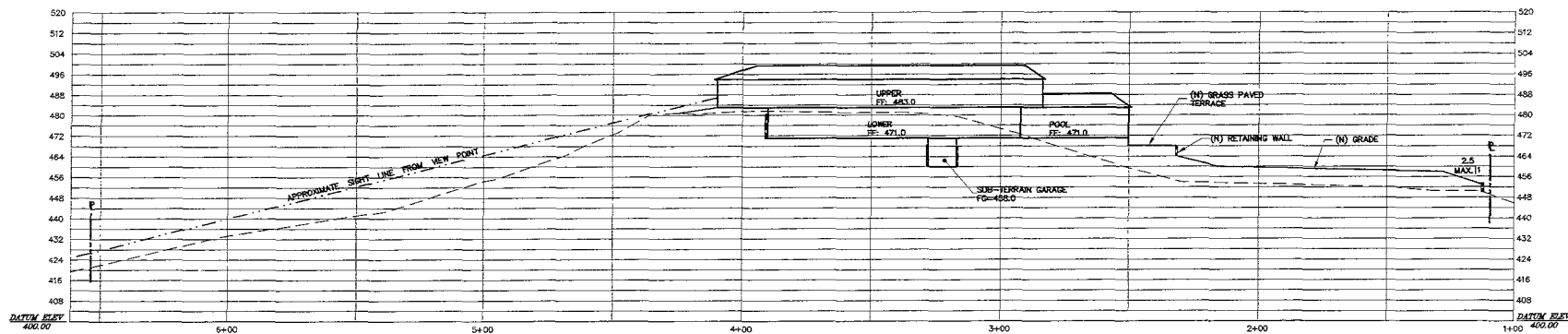
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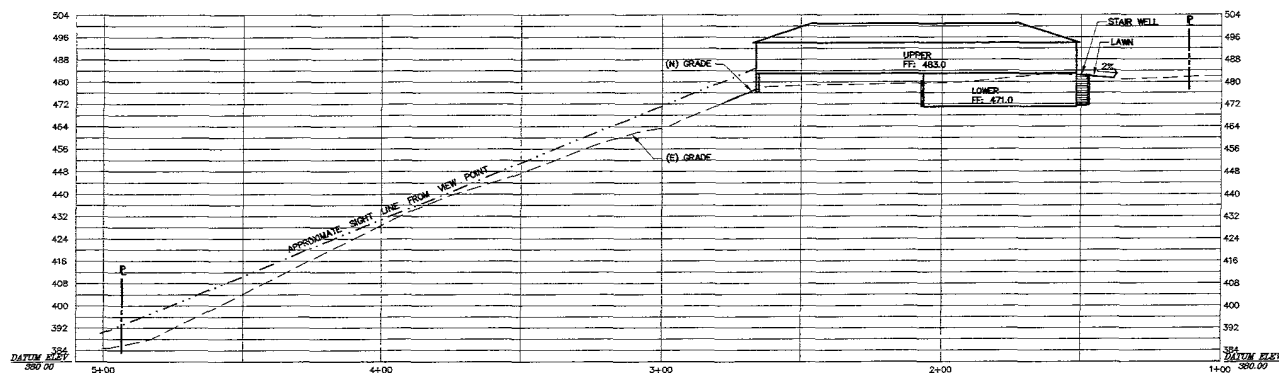
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DATE: 0-27-02  
SCALE: 1" = 10'  
DESIGN BY: WC  
DRAWN BY: MYC  
SHEET NO.: **C-4**  
OF 10 SHEETS







CROSS SECTION 1  
SCALE:  
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VERTICAL: 1"=20'



CROSS SECTION 2  
SCALE:  
HORIZONTAL: 1"=20'  
VERTICAL: 1"=20'



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(650) 887-0086  
FAX (650) 887-5018

MARTINEZ RESIDENCE  
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MILPITAS, CALIFORNIA

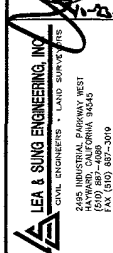
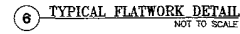
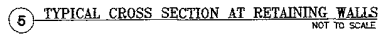
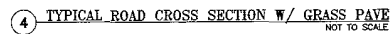
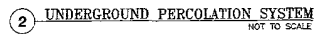
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SANTA CLARA COUNTY

# SITE CROSS SECTIONS

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JOB NO. 2020380  
DATE: 6-27-02  
SCALE: 1" = 20'  
DESIGN BY: WC  
DRAWN BY: MYC  
SHEET NO. C-7  
OF 10 SHEETS



MARTINEZ RESIDENCE  
1000 COUNTRY CLUB DR.  
MILPITAS, CALIFORNIA

APN: 028-03-014

SANTA CLARA COUNTY

## DETAILS

REVISIONS	5-06-03	WC
REVISIONS	6-13-03	WC
PLAN CHECK	8-06-03	WC
PLAN CHECK	8-25-03	WC
PLAN CHECK	10-01-03	WC
REVISIONS		BY
JOB NO: 2020390		
DATE: 6-27-02		
SCALE: AS NOTED		
DESIGN BY: WC		
DRAWN BY: MYC		
SHEET NO:		

**C-8**

OF 10 SHEETS

# GRADING & DRAINAGE NOTES

## GENERAL NOTES:

ALL GENERAL NOTES, SHEET NOTES AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY THROUGHOUT THE PROJECT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ENGINEER IMMEDIATELY IN WRITING REQUESTING CLARIFICATION. THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL REMAIN THE PROPERTY OF LEA AND SUNG ENGINEERING, INC. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY ANY PERSONS ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT EXCEPT BY THE ENGINEER IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ENGINEER.

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND "TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK INCLUDING, BUT NOT LIMITED TO, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALIFORNIA CIVIL ENGINEERING CODE, AND ANY APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED, PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY NOTIFY THE ENGINEER FOR CORRECTION OR ADJUSTMENT. THE LEVEL OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERROR.

ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE BEGINS HIS/HER WORK. ANY ERRORS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/CONTRACTOR BEFORE CONSTRUCTION BEGINS.

COMPLETION OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONTRACT DOCUMENTS, OR EXISTING ON SITE, WHICH MAY AFFECT THEIR WORK.

## WORK SEQUENCE:

IN THE EVENT ANY SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER OR THE CONTRACTOR, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK IS BEGUN.

**SITE EXAMINATION:** THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND FAMILIARIZE HIM/HERSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS/HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTIONS OF THE SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR EXPENSES DUE TO HIS/HER NEGLIGENCE TO EXAMINE, OR FAILURE TO DISCOVER CONDITIONS WHICH AFFECT HIS/HER WORK.

LEA AND SUNG ENGINEERING, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF LEA AND SUNG ENGINEERING, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD HARMLESS LEA AND SUNG ENGINEERING, INC.

CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE PROJECTS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL COMPONENTS BY VARIOUS CONSTRUCTION INDUSTRY TRADES. THESE DOCUMENTS CANNOT FORESIGHT ALL COMPONENTS OR ASSUMES EXACTLY. IT IS THE INTENTION OF THESE ENGINEERING DOCUMENTS THAT THEY REPRESENT A REASONABLE STANDARD OF CARE. IN THEIR CONTENT, IT IS ALSO PRESUMED BY THESE DOCUMENTS THAT CONSTRUCTION REVIEW SERVICES WILL BE PROVIDED BY THE ENGINEER. SHOULD THE OWNER NOT RETAIN THE ENGINEER TO PROVIDE SUCH SERVICES, OR SHOULD HE/SH NOT RETAIN THE ENGINEER TO PROVIDE ONLY PARTIAL OR LIMITED SERVICES, THEN IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO FULLY RECOGNIZE AND PROVIDE THAT STANDARD OF CARE.

IF THE OWNER OR CONTRACTOR OBSERVES OR OTHERWISE BECOMES AWARE OF ANY FAULT OR DEFECT IN THE PROJECT OR NONCONFORMANCE WITH THE CONTRACT DOCUMENTS, PROMPT WRITTEN NOTICE THEREOF SHALL BE GIVEN BY THE OWNER AND/OR CONTRACTOR TO THE ENGINEER.

THE ENGINEER SHALL NOT HAVE CONTROL OF OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

## SITE PROTECTION:

PROTECT ALL LANDSCAPING THAT IS TO REMAIN, ANY DAMAGE OR LOSS RESULTING FROM EXCAVATION, GRADING, OR CONSTRUCTION WORK SHALL BE CORRECTED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING SITE UTILITIES AND SHALL COORDINATE THEIR REMOVAL OR MODIFICATIONS OF ANY TO AVOID ANY INTERRUPTION OF SERVICE TO ADJACENT AREAS. THE GENERAL CONTRACTOR SHALL INFORM HIM/HERSELF OF MUNICIPAL REGULATIONS AND CARRY OUT HIS/HER WORK IN COMPLIANCE WITH ALL FEDERAL AND STATE REQUIREMENTS TO REDUCE FIRE HAZARDS AND INJURIES TO THE PUBLIC.

## 1. SCOPE OF WORK

THESE SPECIFICATIONS AND APPLICABLE PLANS PERTAIN TO AND INCLUDE THE GRADING AND STREPPING OF THE ENTIRE AREA, INCLUDING EXCAVATIONS TO LINES AND GRADES NOTED ON THE PLANS. WHERE REQUIRED BY THE SOILS ENGINEER, UNACCEPTABLE NATIVE SOILS OF UNDESIRABLE GRADE, RECLAIMED OR FILL SHALL BE SCARIFIED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS. COMPACTED FILL MATERIAL SHALL BE PLACED TO BRING GRADE LEVEL BACK TO DESIGN GRADE.

## 2. GENERAL

- ALL SITE GRADING AND EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS OF THESE SPECIFICATIONS AND THE CITY OF MILPITAS GRADING ORDINANCE.
- ALL FILL MATERIALS SHALL BE IDENTIFIED SO AS TO PRODUCE A DENSITY NOT LESS THAN 90% RELATIVE COMPACTION BASED UPON ASTM TEST DESIGNATION D1557. FIELD DENSITY TESTS WILL BE PERFORMED IN ACCORDANCE WITH ASTM TEST DESIGNATION D1557. THE LOCATION AND FREQUENCY OF THE FIELD DENSITY TESTS WILL BE AS DETERMINED BY THE CITY ENGINEER. THE RESULTS OF THESE TESTS AND COMPARISONS WITH THE SPECIFICATIONS WILL BE THE BASIS UPON WHICH SATISFACTORY COMPLETION OF THE WORK WILL BE JUDGED BY THE CITY ENGINEER. ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED AS SHOWN ON PLANS, BUT NO STEEPER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF THE EARTHWORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. NO DEVIATION FROM THESE SPECIFICATIONS SHALL BE MADE EXCEPT UPON WRITTEN APPROVAL BY THE CITY ENGINEER. SOIL CUT AND FILL AREAS AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS. COMPACTED FILL MATERIAL SHALL BE PLACED TO BRING GRADE LEVEL BACK TO DESIGN GRADE. RECLAIMED OR FILL SHALL BE SCARIFIED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS. THE CITY ENGINEER AT LEAST TWO (2) WORKING DAYS PRIOR TO DOING ANY SITE GRADING AND EARTHWORK, INCLUDING CLEARING AND GRUBBING.

## 3. CLEARING AND GRUBBING

- THE CONTRACTOR SHALL ACCEPT THE SITE IN ITS PRESENT CONDITION. ALL EXISTING PUBLIC IMPROVEMENTS SHALL BE PROTECTED. ANY IMPROVEMENTS DAMAGED SHALL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE CITY WITH NO EXTRA COMPENSATION.
- ALL ABANDONED BUILDINGS AND FOUNDATIONS, TREES (EXCEPT THOSE SPECIFIED TO REMAIN FOR LANDSCAPING PURPOSES), FENCES, VEGETATION AND ANY SURFACE DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF THE SITE BY THE CONTRACTOR.
- ALL ABANDONED SEPTIC TANKS AND ANY OTHER SUBSURFACE STRUCTURES EXISTING IN PROPOSED DEVELOPMENT AREAS SHALL BE REMOVED PRIOR TO ANY GRADING OR FILL OPERATION. ALL ADJUTANT DRAIN FIELDS AND OTHER CONNECTING LINES MUST ALSO BE TOTALLY REMOVED.
- ALL ABANDONED UNDERGROUND IRRIGATION OR UTILITY LINES SHALL BE REMOVED OR DISCLOSED. THE APPROPRIATE FINAL DISPOSITION OF SUCH LINES DEPEND UPON THEIR DEPTH AND LOCATION AND THE METHOD OF REMOVAL OR DISPOSITION SHALL BE DETERMINED BY THE CITY ENGINEER. ONE OF THE FOLLOWING METHODS WILL BE USED:
  - EXCAVATE AND TOTALLY REMOVE THE UTILITY LINE FROM THE TRENCH.
  - EXCAVATE AND CRUSH THE UTILITY LINE IN THE TRENCH.
  - CAP THE ENDS OF THE UTILITY LINE WITH CONCRETE TO PREVENT THE INTRUSION OF WATER. THE LOCATIONS AT WHICH THE UTILITY LINE WILL BE CAPPED WILL BE DETERMINED BY THE CITY ENGINEER. THE LENGTH OF THE CAP SHALL NOT BE LESS THAN FIVE FEET, AND THE CONCRETE MIX EMPLOYED SHALL HAVE MINIMUM STRENGTH.

## 4. SITE PREPARATION AND STREPPING

- ALL SURFACE GRASSES SHALL BE STRIPPED AND REMOVED FROM BUILDING PADS, AREAS TO RECEIVE COMPACTED FILL AND PAVEMENT AREAS.
- UPON THE COMPLETION OF THE ORGANIC STRIPPING OPERATION, THE GROUND SURFACE (NATIVE SOIL SUBGRADE) OVER THE ENTIRE AREA OF ALL BUILDING PADS, STREET AND PAVEMENT AREAS AND ALL AREAS TO RECEIVE COMPACTED FILL SHALL BE PLOWED OR SCARIFIED UNTIL THE SURFACE IS FREE OF PUTS, HUMANS OR OTHER UNDESIRED FEATURES WHICH MAY HINDER UNIFORM SOIL COMPACTION. THE GROUND SURFACE SHALL THEN BE DISSED OR PLOWED TO A DEPTH OF AT LEAST 6 INCHES. UPON ENGINEER'S SATISFACTION, THE NEW SURFACE SHALL BE WATER CONDITIONED AND RECOMPACTED PER REQUIREMENTS FOR COMPACTING FILL MATERIAL.

## 5. EXCAVATION

- UPON COMPLETION OF THE CLEARING AND GRUBBING, SITE PREPARATION AND STREPPING, THE CONTRACTOR SHALL MAKE EXCAVATIONS TO LINES AND GRADES NOTED ON THE PLANS. WHERE REQUIRED BY THE SOILS ENGINEER, UNACCEPTABLE NATIVE SOILS OF UNDESIRABLE GRADE, RECLAIMED OR FILL SHALL BE SCARIFIED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS. COMPACTED FILL MATERIAL SHALL BE PLACED TO BRING GRADE LEVEL BACK TO DESIGN GRADE.
- EXCAVATED MATERIALS SUITABLE FOR COMPACTED FILL MATERIAL SHALL BE UTILIZED IN MAKING THE REQUIRED COMPACTED FILL. THOSE NATIVE MATERIALS CONSIDERED UNSUITABLE BY THE CITY ENGINEER SHALL BE DISPOSED OF OFF THE SITE BY THE CONTRACTOR.

## 6. PLACING, SPREADING AND COMPACTING FILL MATERIAL

- FILL MATERIALS
 

THE MATERIALS PROPOSED FOR USE AS COMPACTED FILL SHALL BE APPROVED BY THE CITY ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. THE NATIVE MATERIAL IS CONSIDERED SUITABLE FOR FILL, HOWEVER, ANY NATIVE MATERIAL UNDESIGNATED UNSUITABLE BY THE CITY ENGINEER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. ANY IMPORTED MATERIAL SHALL BE APPROVED FOR USE BY THE CITY ENGINEER. IN WRITING, BEFORE BEING IMPORTED TO THE SITE AND SHALL POSSESS SUFFICIENT PILES TO PROVIDE A COMPLETE SOIL MAT AND SHALL BE FREE OF VEGETATION AND ORGANIC MATTER, AND OTHER DETERIORATING MATERIALS NO LARGER THAN THREE INCHES IN DIAMETER SHALL BE PERMITTED.
- FILL CONSTRUCTION
 

THE CITY ENGINEER SHALL APPROVE THE NATIVE SOIL SUBGRADE BEFORE PLACEMENT OF ANY COMPACTED FILL MATERIAL. UNACCEPTABLE NATIVE SOIL SHALL BE REMOVED AS DIRECTED BY THE CITY ENGINEER. THE RESULTING GROUND LINE SHALL BE SCARIFIED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS. COMPACTED FILL MATERIAL SHALL BE PLACED TO BRING GRADE LEVEL BACK TO DESIGN GRADE. RECLAIMED OR FILL SHALL BE SCARIFIED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS. THE CITY ENGINEER AT LEAST TWO (2) WORKING DAYS PRIOR TO DOING ANY SITE GRADING AND EARTHWORK, INCLUDING CLEARING AND GRUBBING.

THE APPROVED FILL MATERIALS SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS NO THICKER THAN 8" IN LOOSE THICKNESS. LAYERS SHALL BE SPREAD EVENLY AND SHALL BE THOROUGHLY BLEND MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER. THE SCARIFIED SUBGRADE AND FILL MATERIAL SHALL BE MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE. THE MOISTURE CONTENT OF THE FILL IS BELOW THAT SPECIFIED, WATER SHALL BE ADDED UNTIL THE MOISTURE DURING THE COMPACTION PROCESS. WHEN THE MOISTURE CONTENT OF THE FILL IS ABOVE THAT SPECIFIED, THE FILL MATERIAL SHALL BE AIR-DRIED BY BLASING OR OTHER SATISFACTORY METHODS UNTIL THE MOISTURE CONTENT IS AS SPECIFIED.

AFTER EACH LAYER HAS BEEN PLACED, MIXED, SPREAD EVENLY AND MOISTURE CONDITIONED, IT SHALL BE COMPACTED TO AT LEAST THE SPECIFIED DENSITY.

THE FILL OPERATION SHALL BE CONTINUED IN COMPACTED LAYERS AS SPECIFIED ABOVE UNTIL THE FILL HAS BEEN BROUGHT TO THE FINISHED SLOPES AND GRADES AS SHOWN ON THE PLANS. NO LAYER SHALL BE ALLOWED TO DRY OUT BEFORE SUBSEQUENT LAYERS ARE PLACED.

COMPACTION EQUIPMENT SHALL BE OF SUCH DESIGN THAT IT WILL BE ABLE TO COMPACT THE FILL TO THE SPECIFIED MINIMUM COMPACTION WITHIN THE SPECIFIED MOISTURE CONTENT RANGE. COMPACTION OF EACH LAYER SHALL BE CONTINUOUS OVER ITS ENTIRE AREA UNTIL THE REQUIRED MINIMUM DENSITY HAS BEEN OBTAINED.

## 7. CUT OR FILL SLOPES

ALL CONSTRUCTED SLOPES, BOTH CUT AND FILL, SHALL BE NO STEEPER THAN 3 TO 1 (HORIZONTAL TO VERTICAL) DURING THE GRADING OPERATION. COMPACTED FILL SLOPES SHALL BE OVERLAPPED BY AT LEAST ONE FOOT HORIZONTALLY AT THE COMPLETION OF THE GRADING OPERATIONS. THE EXPOSED FILL EXISTING ON THE SLOPES SHALL BE BLADED OFF TO CREATE THE FINISHED SLOPE. IMMEDIATELY AFTER CUT AND FILL SLOPES SHALL BE TRACK WALKED AFTER BEING BROUGHT TO FINISH GRADE AND THEN BE PLANTED WITH EROSION CONTROL SLOPE PLANTING. THE CITY ENGINEER SHALL REVIEW ALL CUT AND FILL SLOPES TO DETERMINE IF ANY ADVERSE GEOLOGIC CONDITIONS ARE EXPOSED. IF SUCH CONDITIONS DO OCCUR, THE ENGINEERING GEOLOGIST SHALL RECOMMEND THE APPROPRIATE MITIGATION MEASURES AT THE TIME OF THEIR DETECTION.

## 8. SEASONAL LIMITS AND DRAINAGE CONTROL

FILL MATERIALS SHALL NOT BE PLACED, SPREAD, OR COMPACTED WHILE IT IS AT AN UNDESIRABLY HIGH MOISTURE CONTENT OR DURING OTHERWISE UNFAVORABLE CONDITIONS. WHEN THE WORK IS INTERRUPTED FOR ANY REASON THE FILL OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TEST PERFORMED BY THE COUNTY BETWEEN OCTOBER FIRST AND APRIL FIFTEENTH INDICATES THAT THE MOISTURE CONDITIONS IN AREAS TO BE FILLED ARE AS PREVIOUSLY SPECIFIED. ALL EARTH EXCESS WATER SHALL BE PROMPTLY REMOVED AND THE SITE KEPT DRY.

## 9. DUST CONTROL

THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY FOR THE ALLEVIATION OR PREVENTION OF ANY DUST NUISANCE ON OR ABOUT THE SITE CAUSED BY THE CONTRACTOR'S OPERATION EITHER DURING THE PERFORMANCE OF THE GRADING OR RESULTING FROM THE CONDITION IN WHICH THE CONTRACTOR LEAVES THE SITE. THE CONTRACTOR SHALL ASSUME ALL LIABILITY INCLUDING COURT COST OF 50-100 DOLLARS FOR ALL CLAIMS RELATED TO DUST OR WIND-BLOWN MATERIALS ATTRIBUTABLE TO HIS WORK. COST FOR THIS ITEM OF WORK IS TO BE INCLUDED IN THE EXCAVATION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

## 10. INDEMNITY

THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ENGINEER, THE OWNER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGES ARISING OR ALLEGED TO ARISE, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS.

## 11. SAFETY

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY, AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEERS TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

## 12. GUARANTEE

NEITHER THE FINAL PAYMENT, NOR THE PROVISIONS IN THE CONTRACT, NOR PARTIAL, NOR ENTIRE USE OR OCCUPANCY OF THE PREMISES BY THE OWNER SHALL CONSTITUTE AN ACCEPTANCE OF THE WORK NOT DONE IN ACCORDANCE WITH THE CONTRACT OR RELIEVE THE CONTRACTOR OF LIABILITY IN RESPECT TO ANY EXPRESS WARRANTIES OR RESPONSIBILITY FOR FAULTY MATERIAL OR WORKMANSHIP.

THE CONTRACTOR SHALL REMEDY ANY EFFECTS IN WORK AND PAY FOR ANY DAMAGE TO OTHER WORK RESULTING THEREFROM FROM WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.

## 13. TRENCH BACKFILL

EITHER THE ON-SITE INORGANIC SOIL OR APPROVED IMPORTED SOIL MAY BE USED AS TRENCH BACKFILL. THE BACKFILL MATERIAL SHALL BE MOISTURE CONDITIONED PER THESE SPECIFICATIONS AND SHALL BE PLACED IN LIFTS OF NOT MORE THAN SIX INCHES IN HORIZONTAL UNCOMPACTED LAYERS AND BE COMPACTED BY MECHANICAL MEANS TO A MINIMUM OF 90% RELATIVE COMPACTION. IMPORTED SAND MAY BE USED FOR TRENCH BACKFILL MATERIAL PROVIDED IT IS COMPACTED TO AT LEAST 90% RELATIVE COMPACTION. WATER JETTING ASSOCIATED WITH COMPACTION USING VIBRATORY EQUIPMENT SHALL BE PRINTED ONLY WITH IMPORTED SAND BACKFILL WITH THE APPROVAL OF THE CITY ENGINEER. ALL PIPES SHALL BE BENTED WITH SAND EXTENDING FROM THE TRENCH BOTTOM TO TWELVE INCHES ABOVE THE PIPE. SAND BEDDING IS TO BE COMPACTED AS SPECIFIED ABOVE FOR SAND BACKFILL.

## 14. EROSION CONTROL

- ALL GRADING, EROSION AND SEDIMENT CONTROL, AND RELATED WORK UNDERTAKEN ON THIS SITE IS SUBJECT TO ALL TERMS AND CONDITIONS OF THE CITY GRADING ORDINANCE AND MADE A PART HEREOF BY REFERENCE.
- THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO ANY PUBLICLY OWNED AND MAINTAINED ROAD CAUSED BY THE AFORESAID CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE PAVED ROUTE.

- THE EROSION CONTROL MEASURES ARE TO BE OPERABLE DURING THE FIRST RAINY SEASON, OCTOBER FIRST TO APRIL FIFTEENTH. EROSION CONTROL PLANTING IS TO BE COMPLETED BY OCTOBER FIRST. NO GRADING OR UTILITY TRENCHING SHALL OCCUR BETWEEN OCTOBER FIRST AND APRIL FIFTEENTH UNLESS AUTHORIZED BY THE CITY ENGINEER.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE CITY ENGINEER.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEGMENT-LEAKEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
- WHEN NO LONGER NECESSARY AND PRIOR TO FINAL ACCEPTANCE OF DEVELOPMENT, SEDIMENT BASINS SHALL BE REMOVED OR OTHERWISE DEACTIVATED AS REQUIRED BY THE CITY.
- A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE TO ROADWAY. A CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (2" TO 3" MINIMUM DIAMETER) AT LEAST EIGHT INCHES THICK BY FIFTY (50) FEET LONG BY TWENTY (20) FEET WIDE AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.
- ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS:
 

FIBER, 2000 LBS/ACRE  
SEED, 200 LBS/ACRE (SEE NOTE A BELOW)  
FERTILIZER (11-5-8-A), 500 LBS/ACRE  
WATER, AS REQUIRED FOR APPLICATION
- SEED MIX SHALL BE CLAYE ROGENS OR #80/LOR #150/COR #20
- WATER UTILIZED IN THE STABILIZATION MATERIAL SHALL BE OF SUCH QUALITY THAT IT WILL PROMOTE GERMINATION AND STIMULATE GROWTH OF PLANTS. IT SHALL BE FREE OF POLLUTANT MATERIALS AND BEE SEED.
- HYDROSEEDING SHALL CONFORM TO THE PROVISIONS OF SECTION 20, "EROSION CONTROL AND HIGHWAY PLANTING", OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LATEST REVISED.
- A DISEASING AGENT MAY BE ADDED TO THE HYDROSEEDING MATERIAL, PROVIDED THAT THE CONTRACTOR FURNISHES SUTABLE EVIDENCE THAT THE AGENT WILL NOT ADVERSELY AFFECT THE PERFORMANCE OF THE SEEDING MIXTURE.
- STABILIZATION MATERIALS SHALL BE APPLIED AS SOON AS PRACTICABLE AFTER COMPLETION OF GRADING OPERATIONS AND PRIOR TO THE ONSET OF WINTER RAINS, OR AT SUCH OTHER TIME AS DIRECTED BY THE CITY ENGINEER. THE MATERIAL SHALL BE APPLIED BEFORE INSTALLATION OF OTHER LANDSCAPING MATERIALS SUCH AS TREES, SHRUBS AND GROUND COVERS.
- THE STABILIZATION MATERIAL SHALL BE APPLIED WITHIN 4-HOURS AFTER MIXING. MIXED MATERIAL NOT USED WITHIN 4-HOURS SHALL BE REMOVED FROM THE SITE.
- THE CONTRACTOR SHALL MAINTAIN THE SOIL STABILIZATION MATERIAL AFTER PLACEMENT. THE CITY ENGINEER MAY REQUIRE SPRAY APPLICATION OF WATER OR OTHER MAINTENANCE ACTIVITIES TO ASSURE THE EFFECTIVENESS OF THE STABILIZATION PROCESS. APPLICATION OF WATER SHALL BE ACCOMPANIED USING NOZZLES THAT PRODUCE A SPRAY THAT DOES NOT CONCENTRATE OR WASH AWAY THE STABILIZATION MATERIALS.

## 15. CLEANUP

THE CONTRACTOR MUST MAINTAIN THE SITE CLEAN, SAFE AND IN USABLE CONDITION ANY SPILLS OF SOIL, ROCK OR CONSTRUCTION MATERIAL MUST BE REMOVED FROM THE SITE BY THE CONTRACTOR DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. COST FOR THIS ITEM OF WORK SHALL BE INCLUDED IN THE EXCAVATION AND COMPACTION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.



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1000 COUNTRY CLUB DR.  
MILPITAS, CALIFORNIA**

SANTA CLARA COUNTY  
APR. 02-04-04

**GRADING  
SPECIFICATIONS**

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**C-9**  
OF 10 SHEETS

# STORM WATER POLLUTION PREVENTION & NON-POINT STORM WATER CONTROL NOTES

## INTERIM MEASURES

REFER TO SHEET ER-1 FOR INTERIM EROSION CONTROL AND STORM WATER POLLUTION PREVENTION MEASURES.

CONTRACTOR SHALL OBTAIN THE PROPER PERMITS PRIOR TO ANY GRADING, AND SHALL USE APPROPRIATE BEST MANAGEMENT PRACTICES (BMP'S) TO CONTROL SOIL EROSION AND PREVENT STORM WATER POLLUTION.

NO GRADING SHALL BE ALLOWED AFTER OCTOBER 15TH UNTIL THE END OF THE SEASONAL GRADING MORATORIUM.

## POST CONSTRUCTION MEASURES

POST CONSTRUCTION MEASURES SHALL INCLUDE: 1) THE USE OF NATIVE BROWN TOLERANT PLANTING / LANDSCAPING TO MINIMIZE THE NEED FOR FERTILIZER, PESTICIDE/HERBICIDES, AND EXCESSIVE IRRIGATION; AND 2) AN EFFICIENT TECHNOLOGY LANDSCAPE IRRIGATION SYSTEM (INCLUDING SYSTEMS WITH AUTOMATIC SHUTOFF IF PIPE BREAKAGE OCCURS, EFFICIENT WATER DISTRIBUTION, EASILY ADJUSTABLE AUTOMATIC CONTROLLERS; AND RAIN SHUTOFF TO PREVENT UNNECESSARY OPERATION).

POST CONSTRUCTION MEASURES SHALL INCLUDE MAINTENANCE AND MONITORING OF DRAINAGE SYSTEM INCLUDING STRUCTURAL BMP'S. SUCH MAINTENANCE SHALL INCLUDE: a) INSPECTION PRIOR TO THE START OF THE RAINY SEASON (NO LATER THAN OCTOBER 15TH), AFTER THE FIRST STORM, AND MONTHLY THEREAFTER UNTIL APRIL 30TH; b) STORMDRAIN STRUCTURES (TRAPS, INLETS, JUNCTION BOXES, ETC) SHALL BE CLEANED PRIOR TO THE WET SEASON AND NO LATER THAN OCTOBER 15TH (AND POLLUTANTS CONTAINED IN SAID BMP DEVICE SHALL BE DEPOSED OF IN AN APPROPRIATE MANNER; AND c) SHOULD ANY OF THE BMP DEVICES FAIL OR RESULT IN INCREASED EROSION OR POLLUTION, THE OWNER (AND ANY SUCCESSORS) SHALL BE RESPONSIBLE FOR NECESSARY REPAIRS.

POST CONSTRUCTION MEASURES MAY INCLUDE NON-ROUTINE MAINTENANCE AS NEEDED BASED UPON THE RESULTS OF MONITORING INSPECTIONS.

NO PROPOSED CHANGES TO THE APPROVED FINAL PLANS SHALL OCCUR WITHOUT THE PRIOR APPROVAL OF THE COASTAL COMMISSION EXECUTIVE DIRECTOR.

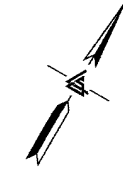
PROVIDE GRASSY LINED "BOSWALE" SWALES WHEREVER POSSIBLE TO REDUCE VELOCITIES AND ALLOW FOR NATURAL STORM WATER FILTRATION - TYP.

PROMOTE "SHEET FLOWS" OF STORM WATER OVER LANDSCAPED AREAS WHEREVER POSSIBLE TO REDUCE VELOCITIES AND ALLOW FOR NATURAL STORM WATER FILTRATION - TYP.

PROVIDE MIN. 12" DEEP SUMP AND GRAVEL BASES FOR STORM DRAINAGE STRUCTURES TO CONTAIN HEAVIER SOLIDS AND FINES AND TO ACCOMMODATE ON-SITE DISSIPATION - TYP.

STORM DRAINAGE OUTFALLS SHALL INCLUDE ENERGY DISSIPATORS PER A.B.G. STANDARDS. PLACE ANGULAR RP-RAP OVER GEOTEXTILE MAT TO PREVENT WASHOUT OF SOLS BENEATH RP-RAP. FINAL PLACEMENT OF OUTFALLS MAY BE ADJUSTED AS DIRECTED BY THE PROJECT SOILS/GEOTECH, ENVIRONMENTAL, AND WILDLIFE CONSULTANTS.

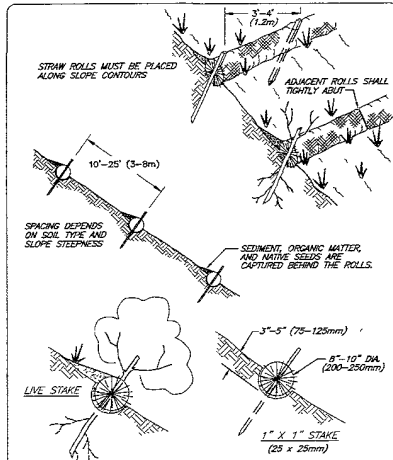
THE CONTRACTOR SHALL PROVIDE TO THE OWNER STORM WATER POLLUTION PREVENTION MATERIALS (PAMPHLETS, BROCHURES, ETC.) WHICH DESCRIBE (IN LAYPERSONS TERMS) POST CONSTRUCTION STORM WATER POLLUTION PREVENTION MEASURES AND BMP'S.



0 15 30 60  
SCALE: 1" = 30'

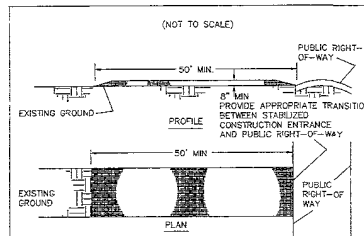
## LEGEND

SYMBOL	DESCRIPTION
	STRAW ROLLS
	ROCKY CONSTRUCTION ENTRANCE
	SAND BAGS/SEDIMENTATION BASIN
	INLET COVER



NOTE: STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3"-4" (75-100mm) DEEP, DIA. ON CONTIGUOUS. ROLLING MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.

STRAW ROLLS

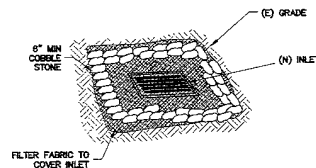


CONSTRUCTION ENTRANCE

PROVIDE SEDIMENTATION BASIN AT EACH DRAIN INLET TO ACCEPT STORMWATER DURING CONSTRUCTION PER CITY & A.B.G. STANDARDS. NOTE: SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORMWATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS - TYP.

## NON-POINT STORM WATER CONTROL ANNOTATIONS

- NP-1 PROVIDE GEOTEXTILE OR SLOPE STABILITY MATTING AS REQUIRED TO PREVENT EROSION AT ENERGY DISSIPATOR. PROVIDE FOR INSPECTION OF AREA FOR EROSION PRIOR TO RAINY SEASON. PROVIDE ANY MODIFICATION NEEDED TO PREVENT FUTURE EROSION.
- NP-2 FINAL PLACEMENT OF DISSIPATOR MAY BE ADJUSTED BY SOILS/GEOTECHNICAL ENGINEER.
- NP-3 SILT BASIN SHALL BE PERIODICALLY INSPECTED AND CLEANED OUT, SPECIFICALLY PRIOR TO RAINY SEASON.
- NP-4 DIRECT FLOW TOWARD PERVIOUS AREA (I.E. GRASS PAVE, OR LANDSCAPED AREAS).
- NP-5 REPLANT & REPAIR GRASS IN AREAS OF GRASS PAVE AS REQUIRED.



INLET SILT PROTECTION

## EROSION CONTROL GENERAL NOTES

THE EROSION CONTROL MEASURES SHALL CONFORM WITH A.B.G. STANDARDS, CITY STANDARDS AND WILL BE APPROVED BY CITY ENGINEERING DEPARTMENT.

THERE IS TO BE NO RAIN PREDICTED DURING THE SEVEN DAYS PRECEDING THE START DATE FOR GRADING OPERATION.

THERE IS TO BE NO RAIN PREDICTED DURING THE SEVEN DAYS FOLLOWING THE START DATE FOR GRADING OPERATION.

IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL MEASURES. PROJECT MUST HAVE ALL CUT AND FILL SLOPES PROTECTED.

EROSION CONTROL MEASURES AS STATED ON THIS PLAN ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED AS DETERMINED BY CITY'S ENGINEERING DEPARTMENT.

FAILURE TO IMPLEMENT EROSION CONTROL MEASURES DURING PERIODS OF RAINFALL MAY RESULT IN A PROHIBITION OF ANY GRADING DURING THE REMAINDER OF THE GRADING MORATORIUM.

## EROSION CONTROL MEASURES

THE EROSION CONTROL MEASURES SHALL INCLUDE AS:

- 1) THE TIMING OF THE GRADING ACTIVITIES DURING THE DRY MONTHS IF FEASIBLE.
- 2) TEMPORARY AND PERMANENT PLANTING OF EXPOSED SOIL.
- 3) TEMPORARY SEDIMENT BASINS AND TRAPS.
- 4) PLACEMENT OF STRAW GROUND COVER OR MULCHING OVER EXPOSED SOIL PRIOR TO THE RAINY SEASON, AND/OR
- 5) TEMPORARY STRAW ROLLS. ADJACENT PROPERTIES AND UNDISTURBED AREAS ARE TO BE PROTECTED FROM CONSTRUCTION IMPACTS. SEDIMENTATION LOADED WATER IS NOT PERMITTED TO LEAVE THE SITE. MEASURES SHALL BE TAKEN SUCH THAT THE STORAGE, HANDLING AND DISPOSAL OF THE CONSTRUCTION MATERIAL AND WASTES WILL BE PREVENTED TO HAVE CONTACT WITH STORM WATER. INAPPROPRIATE EROSION CONTROL MEASURES AND MAINTENANCE PROVISIONS CAN LEAD TO HEAVY FINE FROM THE REGIONAL WATER QUALITY CONTROL BOARD(S) DURING PROJECT CONSTRUCTION. SPECIFIC MEASURES SHALL INCLUDE:

CONTRACTOR SHALL PROVIDE A ROCKED CONSTRUCTION ENTRANCE PER CITY A.B.G. IF A SEPARATE ENTRANCE IS UTILIZED FOR CONSTRUCTION TRAFFIC.

PROVIDE STRAW ROLLS AROUND PERIMETER OF EXPOSED AREAS (ESPECIALLY ALONG PROPERTY LINES) TO PREVENT SILT FLOWS OFF-SITE.

PROVIDE SEDIMENTATION BASIN(S) AT ALL INLETS WHICH ARE TO ACCEPT RUNOFF. ALL OTHER INLETS SHALL BE TEMPORARILY SEALED.



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APN: 008-03-014

SANTA CLARA COUNTY

EROSION & SEDIMENTATION & NON-POINT STORM WATER CONTROL PLAN

REVISIONS	BY
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JOB NO: 2023080  
DATE: 6-27-08  
SCALE: AS NOTED  
DESIGN BY: WC  
DRAWN BY: MYC  
SHEET NO:

ER-1

OF 10 SHEETS



WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (UNO).

ALL EXTERIOR DOORS SHALL BE AT LEAST 1 3/4" THICK

BEDROOM WINDOWS SHALL HAVE MAX 44" HIGH  
SILL & MIN. NET CLEAR OPENINGS OF 20"  
IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR  
OPENING OF 5.7 FEET PER U.B.C.

PROVIDE TEMPERATURE MIXING VALVE @  
ALL SHOWERS PER U.P.C.

WATER HEATERS &amp; FURNACES TO BE C.E.C.

WATER HEATERS SHALL BE STRAPPED WITHIN

OPENINGS AROUND GAS VENTS, DUCTS & PIPING

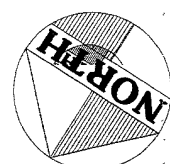
PROVIDE FIRE-STOPPS IN OPENINGS \* FLOOR

ALL DETECTORS TO BE INTERCONNECTED TYPICAL

COLLECTING FRESH OUTSIDE AIR, PREFERABLY FROM THE  
SIDE OF THE HOME. EACH OF THESE FRESH-AIR DUCTS

0.018 inch (0.46 mm) (No. 25 carbon sheet steel gage)  
channel-shaped studs 2.4" (61 mm) on center with cap

horizontal joints are staggered with those on the opposite side. Screws for the horizontal application shall be 8"



8' 24' 32'



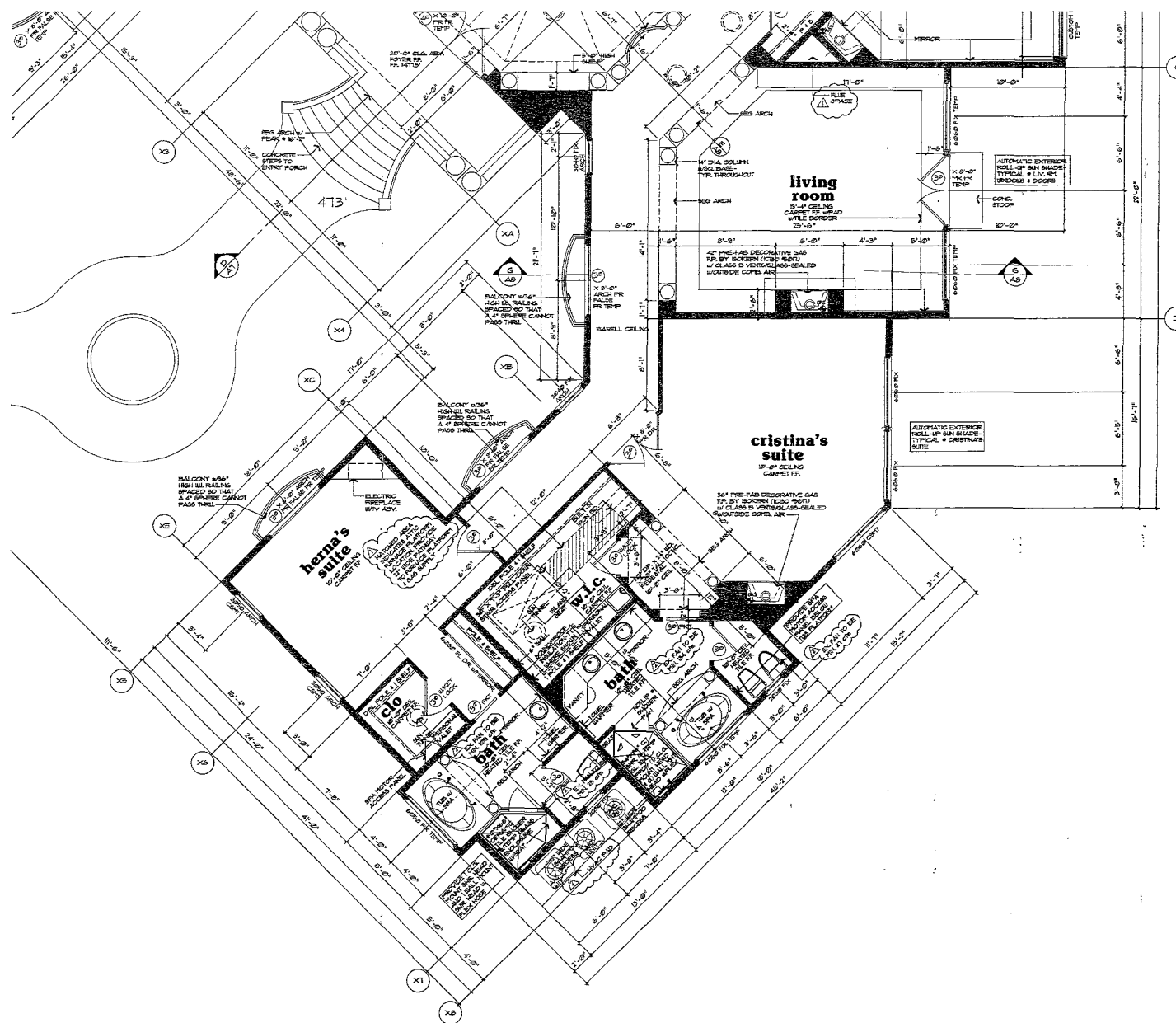
GRAPHIC SCALE

6886 SANTA TERESA BLVD, SUITE B  
SAN JOSE, CALIFORNIA 95128  
PHONE: (408) 227-4404  
FAX: (408) 227-5455  
E-MAIL: [office@etofarmlingroup.com](mailto:office@etofarmlingroup.com)

REVISIONS	
△	8/11/03 FLAN CK KE
△	10/01/03 FLAN CK KE

DATE	REV. 03/10/03
SCALE	1/8" = 1'-0"
PROJECT MANAGER	D. MERCADO
DRAWN	KAILENE
JOB NO.	0215
SHEET	

## A1



8888 SANTA TERESA BLVD, SUITE 2  
SAN JOSE, CALIFORNIA 95128  
PHONE: (408) 227-4404  
FAX: (408) 227-5455  
E-MAIL: [info@stc.com](mailto:info@stc.com)

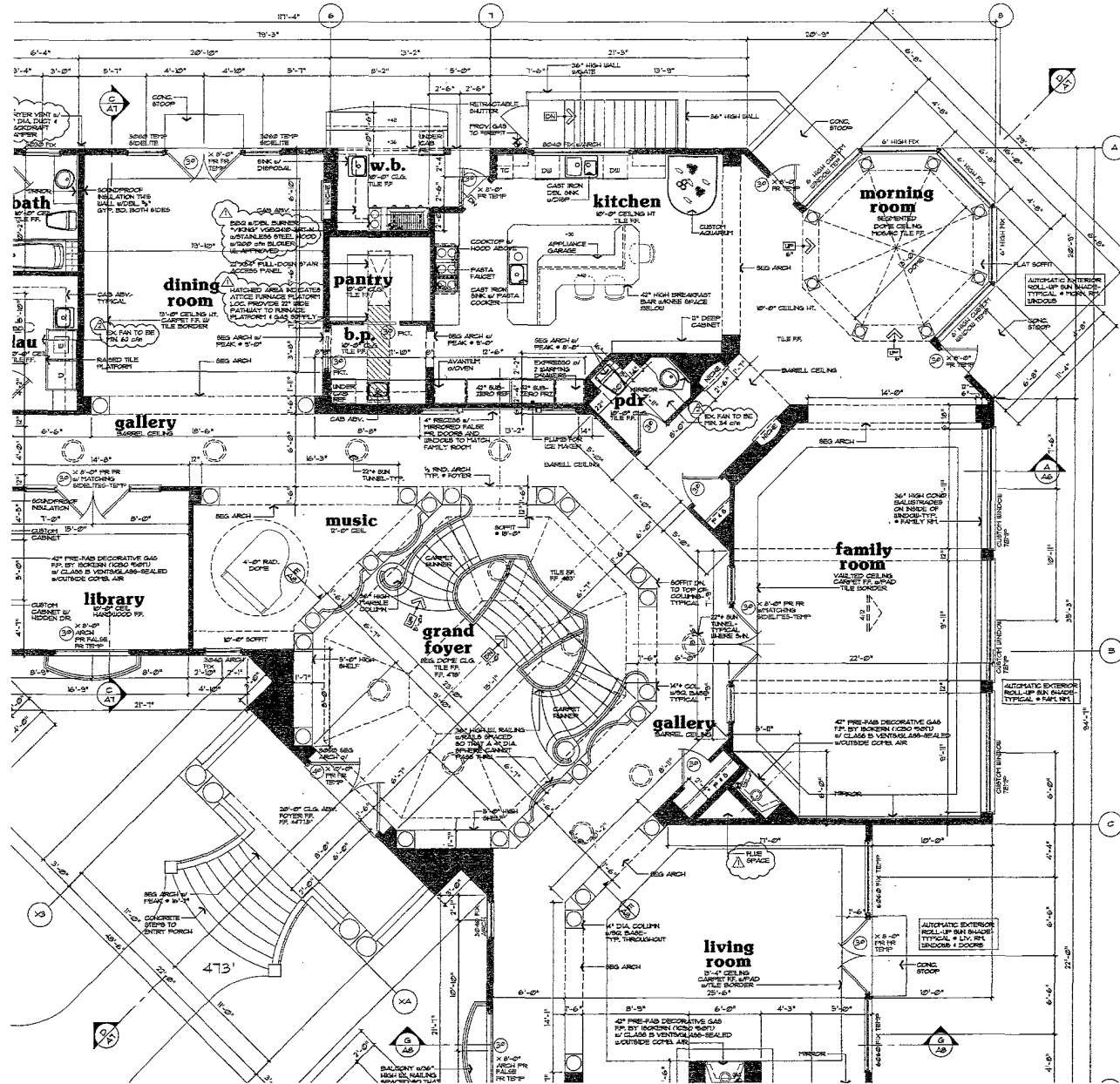
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE LIMITED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. ANY REUSE OF THESE PLANS OR SPECIFICATIONS FOR OTHER SITES OR FOR OTHER PURPOSES IS EXPRESSLY LIMITED TO THE ORIGINAL SITES AND FOR THE PURPOSES FOR WHICH THEY WERE PREPARED. ANY REUSE OF THESE PLANS OR SPECIFICATIONS FOR OTHER SITES OR FOR OTHER PURPOSES IS EXPRESSLY LIMITED TO THE ORIGINAL SITES AND FOR THE PURPOSES FOR WHICH THEY WERE PREPARED.

REVISED	△ 8/11/03	PLAN CK	KE
	△ 10/10/03	PLAN CK	KE

**Entry Level Floor Plan**  
Martinez Residence  
1000 Country Club Drive  
Milpitas, California

DRAWING TITLE	JOB TITLE	JOB ADDRESS
DATE REV. 02/11/03		
SCALE 1/4" = 1'-0"		
PROJECT MANAGER D. MERCADO		
DRAWN KAILENE		
JOB NO. 0215		
SHEET		

**A1a**



8000 SANTA TERESA BLVD. SUITE 8  
SAN JOSE, CALIFORNIA 95139  
PHONE: (408) 257-4400  
FAX: (408) 257-5400  
EMAIL: dls@stotlerdesigngroup.com

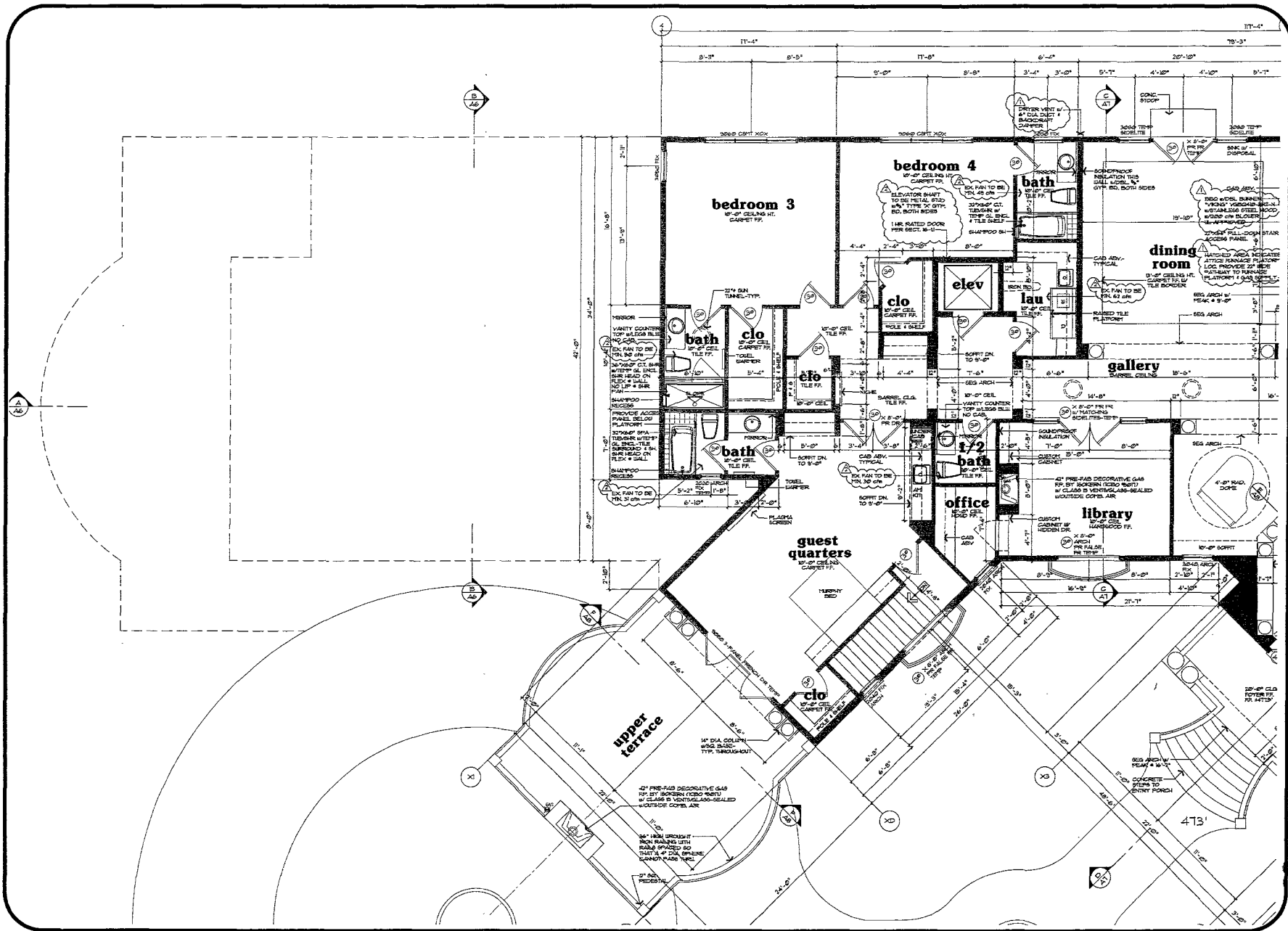
THIS PLAN IS THE PROPERTY OF STOTLER DESIGN GROUP AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STOTLER DESIGN GROUP. ANY VIOLATION OF THIS NOTICE SHALL BE SUBJECT TO LEGAL ACTION. THE CLIENT AGREES TO HOLD STOTLER DESIGN GROUP HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY STOTLER DESIGN GROUP IN CONNECTION WITH THIS PROJECT.

REVISION	DATE	BY	CHK
1	8/11/03	PLAN	OK
2	8/12/03	PLAN	OK

**Entry Level Floor Plan**  
**Martinez Residence**  
1000 Country Club Drive  
Mujitas, California

OWNER TITLE	DATE
JOB TITLE	12/8/03
JOB NUMBER	0215
SCALE	1/4" = 1'-0"
PROJECT MANAGER	D. MERCADO
DRAWN	K. ALLEN
CHECKED	

**A1b**



1000 SANTA TERESA BLVD. SUITE B  
SAN JOSE, CALIFORNIA 95128  
TEL: (408) 227-4404  
FAX: (408) 227-4404  
E-MAIL: info@stotlerdesign.com

THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS, MATERIALS, AND METHODS OF CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS, MATERIALS, AND METHODS OF CONSTRUCTION.

REVISIONS	DATE	BY	CHK	KEY
1	8/1/03	FLAN	OK	KE
2	8/1/03	FLAN	OK	KE

**Entry Level Floor Plan**  
Martinez Residence  
1000 Country Club Drive  
Milpitas, California

DATE	REV.	BY	CHK	KEY
8/1/03	1	FLAN	OK	KE
8/1/03	2	FLAN	OK	KE

**A1c**

**NOTES:**

WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. FACTORY WINDOWS & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIERS AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (UNO).

ALL HEADERS SHALL BE # 8"-0" UNO.

ALL EXTERIOR DOORS SHALL BE AT LEAST 1 3/4" THICK.

ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED PER UBC 2406.

BEDROOM WINDOWS SHALL HAVE MAX 44" HIGH SILL & MIN NET CLEAR OPENINGS OF 20" N WIDTH & 24" IN HEIGHT W/ MIN CLEAR OPENING OF 5.7 FEET PER UBC.

SHOWERS TO BE FINISHED WITH MOISTURE RESISTANT MATERIALS TO MIN HEIGHT OF 10' ABOVE DRAIN W/ TEMPERED GLASS ENCLOSURES.

PROVIDE TEMPERATURE MIXING VALVE & ALL SHOWERS PER UBC.

WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1/4 GALLON/FLUSH PER HEALTH & SAFETY CODE SECTION 17013 (b).

WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.

PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES PER UBC 609 & UBC 1307.

WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED 4" MIN. FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. AFF. - TYPICAL PER UBC & UBC.

OPENINGS AROUND GAS VENTS, DUCTS & PIPING & EACH FLOOR SHALL BE FIRE STOPPED.

AIR DUCTS IN GARAGE THAT PASS THRU LIVING/ GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER PER UBC.

INSTALL FIRE-RAB VTL FIREPLACES PER MFG'S SPEC'S. PROVIDE UGB, APPROVED NIPERS TO BUILDING DEPT. PRIOR TO INSTALLATION.

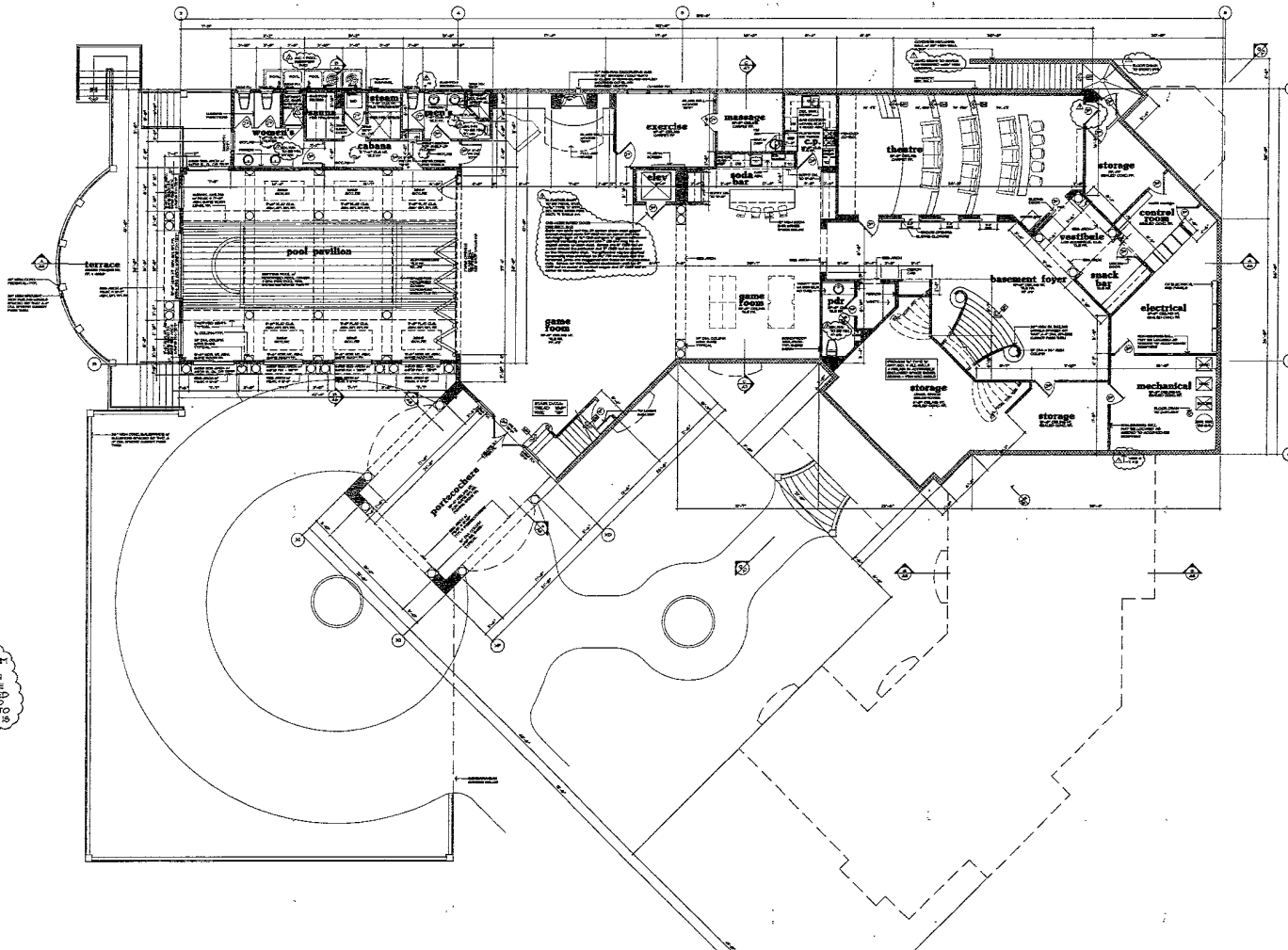
PROVIDE FIRE-STOPPS IN OPENINGS & FLOOR & CEILINGS OF ALL FIREPLACES PER UBC.

PROVIDE ACDC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA. ALL DETECTORS TO BE INTERCONNECTED TYPICAL.

**△ ZONED CLIMATE CONTROL:**  
ROOM VENTILATION SHALL BE PROVIDED THROUGH THE ZONED HVAC SYSTEM. CONNECTED TO EACH HVAC UNIT'S INTAKE PLenum SHALL BE AN AIR DUCT INSTALLED FOR THE PURPOSE OF COLLECTING FRESH OUTSIDE AIR, PREFERABLY FROM THE NORTH SIDE OF THE HOME. EACH OF THESE FRESH-AIR DUCTS SHALL BE EQUIPPED WITH A LOW-VOLTAGE ELECTRIC DAMPER CONTROLLED BY A CENTRALIZED CENTRAL SYSTEM, AS WELL AS ON-DEMAND BY THE OCCUPANTS. THIS DESIGN WILL ALLOW THE OCCUPANTS TO OBTAIN FRESH OUTSIDE AIR, ROOM BY ROOM AS DESIRED, THAT IS FILTERED AND CONDITIONED BEFORE ENTERING THE HOME.

**△ EXHAUST FANS AT BATHROOMS, WATER CLOSETS & LAUNDRY:**  
ROOM SHALL HAVE 9 AIR CHANGES PER HOUR AND BE CONNECTED DIRECT TO OUTSIDE AND THE POINT OF DISCHARGE SHALL BE AT 8'-0" FROM ANY OPENING PER SECT. 0203.

ALL FRAMING TO BE METAL STUD CONSTRUCTION WITH 1/2" GYPSUM BOARD, TYPICAL.



**Lower Level Floor Plan**

1485 sq. ft. Lower Level (Conditioned Above Grade)  
3234 sq. ft. Basement Level (Conditioned Below Grade)  
1270 sq. ft. Pool Enclosure (Unconditioned)  
1443 sq. ft. Mech/Storage (unconditioned/below grade)



8000 SANTA TERESA BLVD., SUITE B  
SAN JOSE, CALIFORNIA 95139  
PHONE: (408) 222-4424  
FAX: (408) 222-4426  
E-MAIL: cbs@stotlerdesigngroup.com

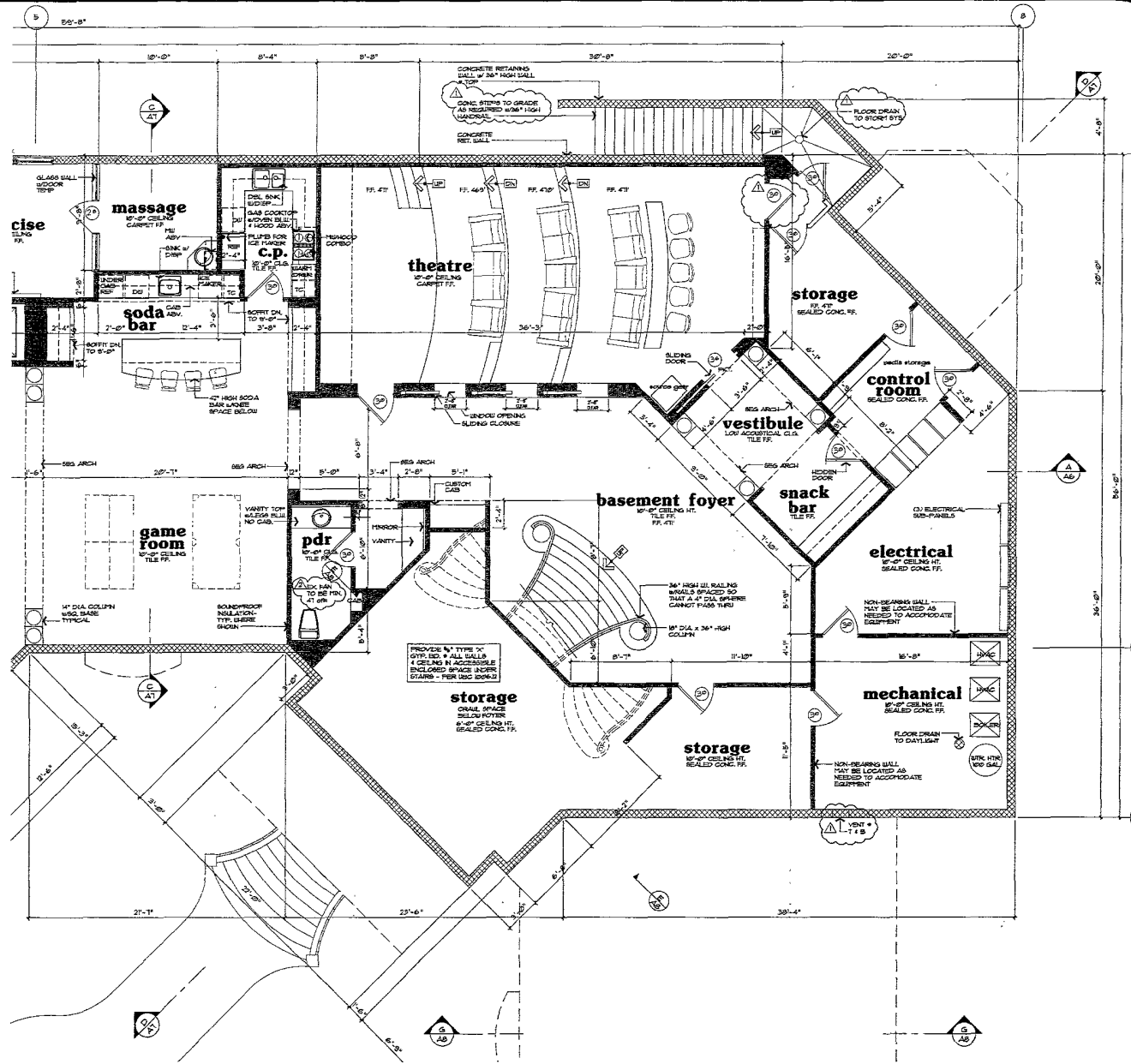
THE LIFE OF A HOUSE IS A JOURNEY. IT BEGINS WITH A DREAM, AND ENDS WITH A HOME. STOTLER DESIGN GROUP IS A FULL-SERVICE ARCHITECTURAL FIRM THAT SPECIALIZES IN RESIDENTIAL DESIGN. WE ARE CURRENTLY SEEKING QUALIFIED ARCHITECTS TO JOIN OUR TEAM. IF YOU ARE INTERESTED, PLEASE SEND US YOUR RESUME AND PORTFOLIO TO: STOTLER DESIGN GROUP, ATTN: HR DEPARTMENT, 8000 SANTA TERESA BLVD., SUITE B, SAN JOSE, CA 95139. WE WILL REVIEW YOUR APPLICATIONS AND CONTACT YOU IF WE ARE INTERESTED. NO PHONE CALLS, PLEASE.

REVISION	DATE	BY	CHK
1	8/10/03	FLANCK	KE
2	10/20/03	FLANCK	KE

DRAWN TITLE	Lower Level Floor Plan
JOB TITLE	Martinez Residence
JOB ADDRESS	1090 Country Club Drive Milpitas, California

DATE	REV. 08/11/03
SCALE	1/8" = 1'-0"
PROJECT MANAGER	D. MERCADO
DRAWN	KAILINE
JOB NO.	0215
SHEET	

**A2**



8900 SANTA TERESA BLVD., SUITE 2  
SAN JOSE, CALIFORNIA 95138  
PHONE: (408) 227-6404  
FAX: (408) 227-6405  
E-MAIL: office@stotlerdesign.com

THIS PLAN IS THE PROPERTY OF STOTLER DESIGN GROUP, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STOTLER DESIGN GROUP, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS PLAN IS STRICTLY PROHIBITED. STOTLER DESIGN GROUP, INC. ACCEPTS NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN.

REVISIONS  
 1. 01/02/03 PLAN OK KE  
 2. 02/02/03 PLAN OK KE

PROJECT TITLE  
 Lower Level Floor Plan  
 PROJECT MANAGER  
 Martinez Residence  
 1000 Country Club Drive  
 Milpitas, California  
 JOB NO.  
 2215  
 SHEET

DATE  
 08/11/03  
 SCALE  
 1/4" = 1'-0"  
 PROJECT MANAGER  
 D. MERCADO  
 DRAWN  
 K. CALLENE  
 JOB NO.  
 2215  
 SHEET

A2a



8888 SANTA TERESA BLVD., SUITE B  
SAN JOSE, CALIFORNIA 95128  
PHONE: (408) 227-6434  
FAX: (408) 227-6435  
WWW.STOTLERDESIGN.COM

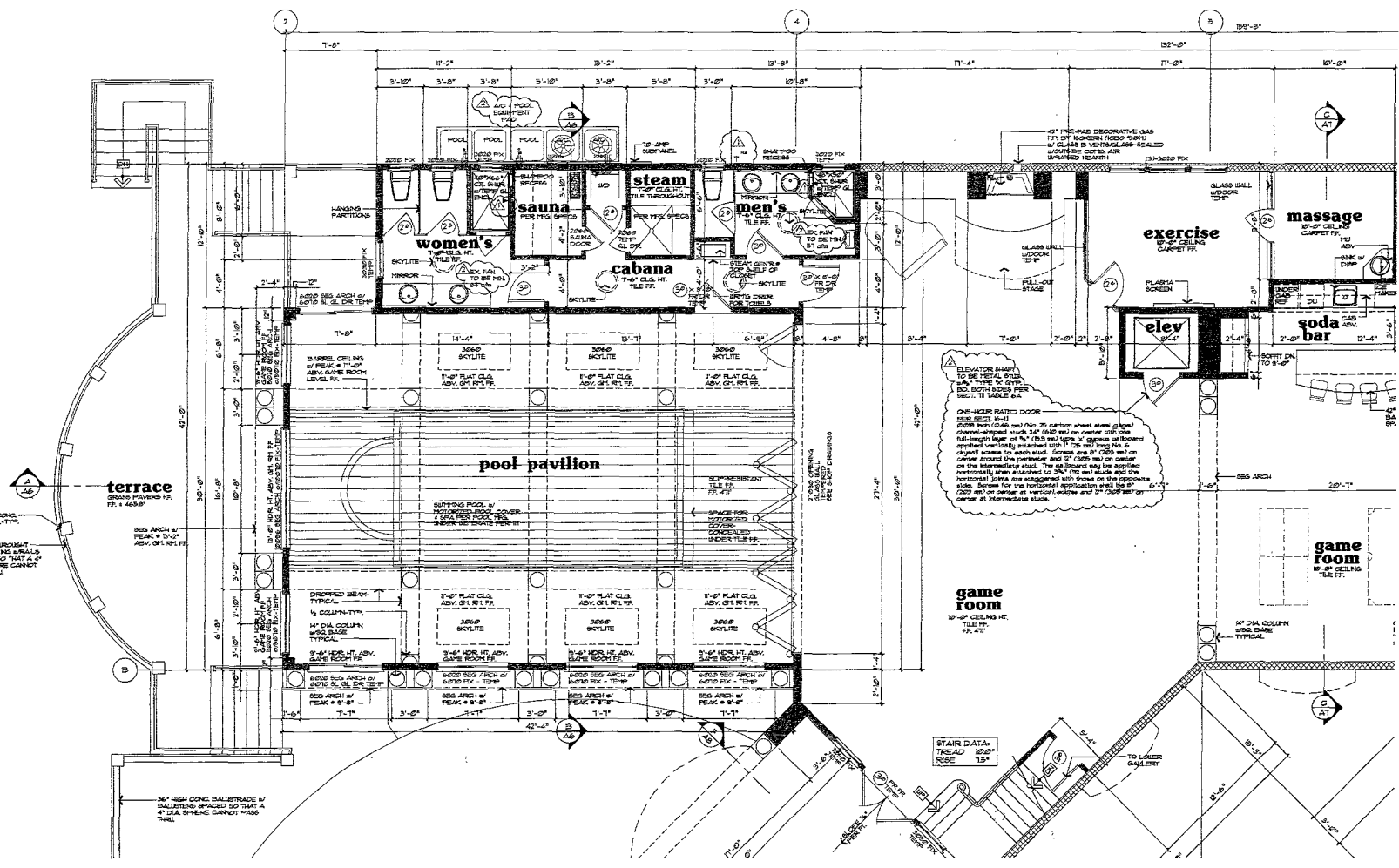
THIS PLAN IS THE PROPERTY OF STOTLER DESIGN GROUP, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STOTLER DESIGN GROUP, INC. ANY VIOLATION OF THIS NOTICE IS SUBJECT TO LEGAL ACTION.

REVISIONS  
1. 10/20/02 PLANK KE  
2. 10/20/02 PLANK KE

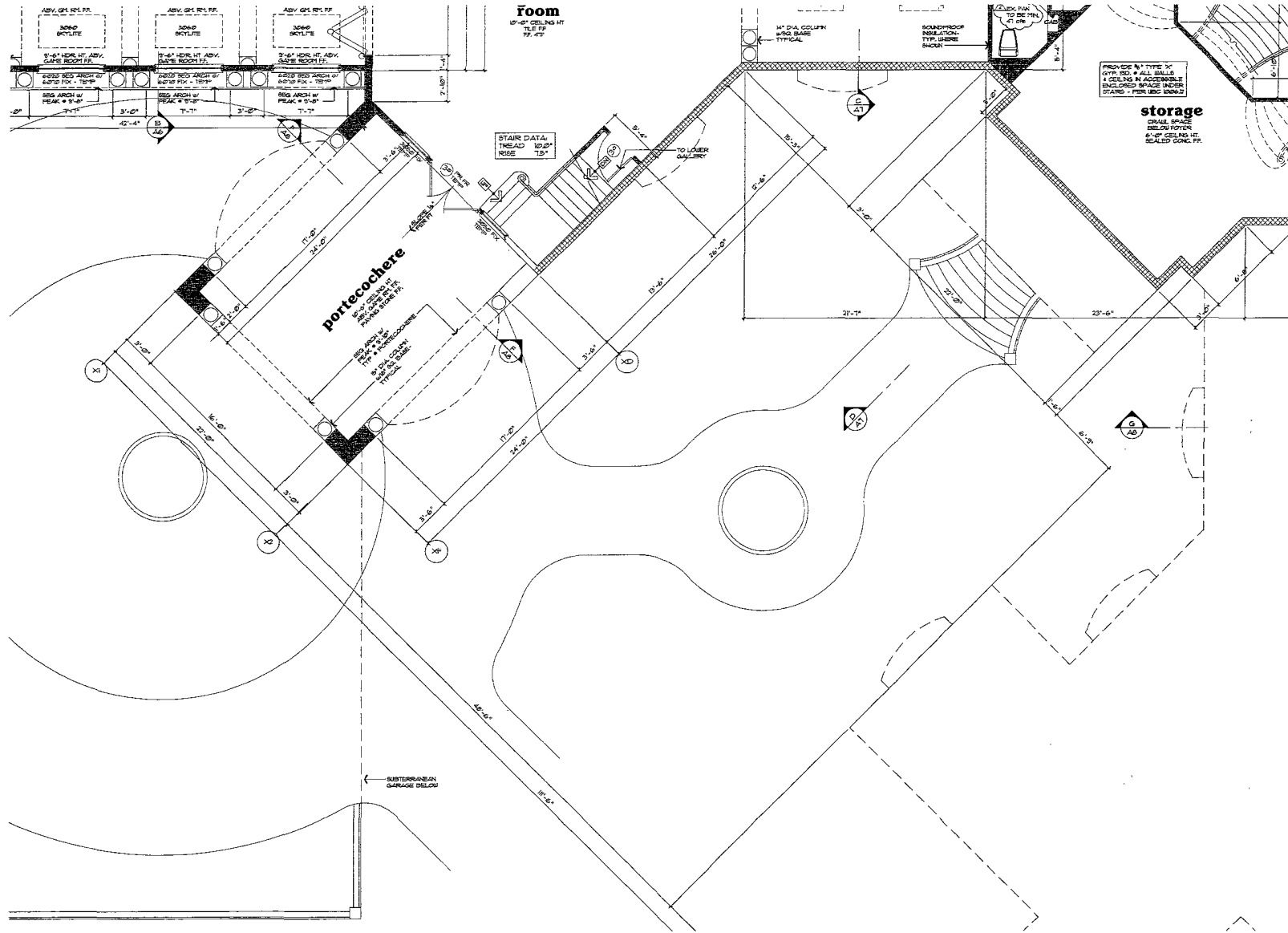
DRAWING TITLE  
**Lower Level Floor Plan**  
JOB TITLE  
**Martinez Residence**  
JOB ADDRESS  
**1000 Country Club Drive  
Milpitas, California**

DATE  
**07/25/03**  
SCALE  
**1/4" = 1'-0"**  
PROJECT MANAGER  
**D. MERCADO**  
DRAWN  
**K. CALLENE**  
JOB NO.  
**0215**  
SHEET

**A2b**



STAIR DATA:  
TREAD 15"  
RISE 15"



8000 SANTA TERESA BLVD. SUITE 3  
SAN JOSE, CALIFORNIA 95130  
PHONE: (408) 227-4404  
FAX: (408) 227-6455  
EMAIL: stollerdesigngroup.com

THE USER OF THIS PLAN AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DATE	BY	CHK
8/10/03	PLAN OK	KE
8/10/03	PLAN OK	KE

OWNER TITLE	Lower Level Floor Plan
DATE	8/10/03
PROJECT NAME	Martinez Residence
PROJECT ADDRESS	1000 Country Club Drive Milpitas, California

DATE	REV. 08/11/03
SCALE	1/4" = 1'-0"
PROJECT MANAGER	D. MERCADO
DRAWN	KAILENE
JOB NO.	0215
SHEET	0215

**A2c**



NOTES:

WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER FIG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (UNO).

ALL HEADERS SHALL BE # 2" x 10" UNO.

ALL EXTERIOR DOORS SHALL BE AT LEAST 1 1/4" THICK.

ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TINTED PER U.B.C. 2406.

BEDROOM WINDOWS SHALL HAVE MAX 40" HIGH SILL & MIN NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT BY MIN. CLEAR OPENING OF 5.7 FEET PER U.B.C.

SHOULDERS TO BE FINISHED WITH MOISTURE RESISTANT MATERIALS TO MIN. HEIGHT OF 18" ABOVE DRAIN BY TINTED GLASS ENCLOSURES.

PROVIDE TEMPERATURE MIXING VALVE & ALL SHOULDERS PER U.P.C.

WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 16 GALLONS/FLUSH PER HEALTH & SAFETY CODE SECTION 19013 (b).

WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.

PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES PER U.M.C. 603 & U.P.C. 1301.

WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. AFF. - TYPICAL PER U.M.C. & U.B.C.

OPENINGS AROUND GAS VENTS, DUCTS & PIPING & EACH FLOOR SHALL BE FIRE STOPPED.

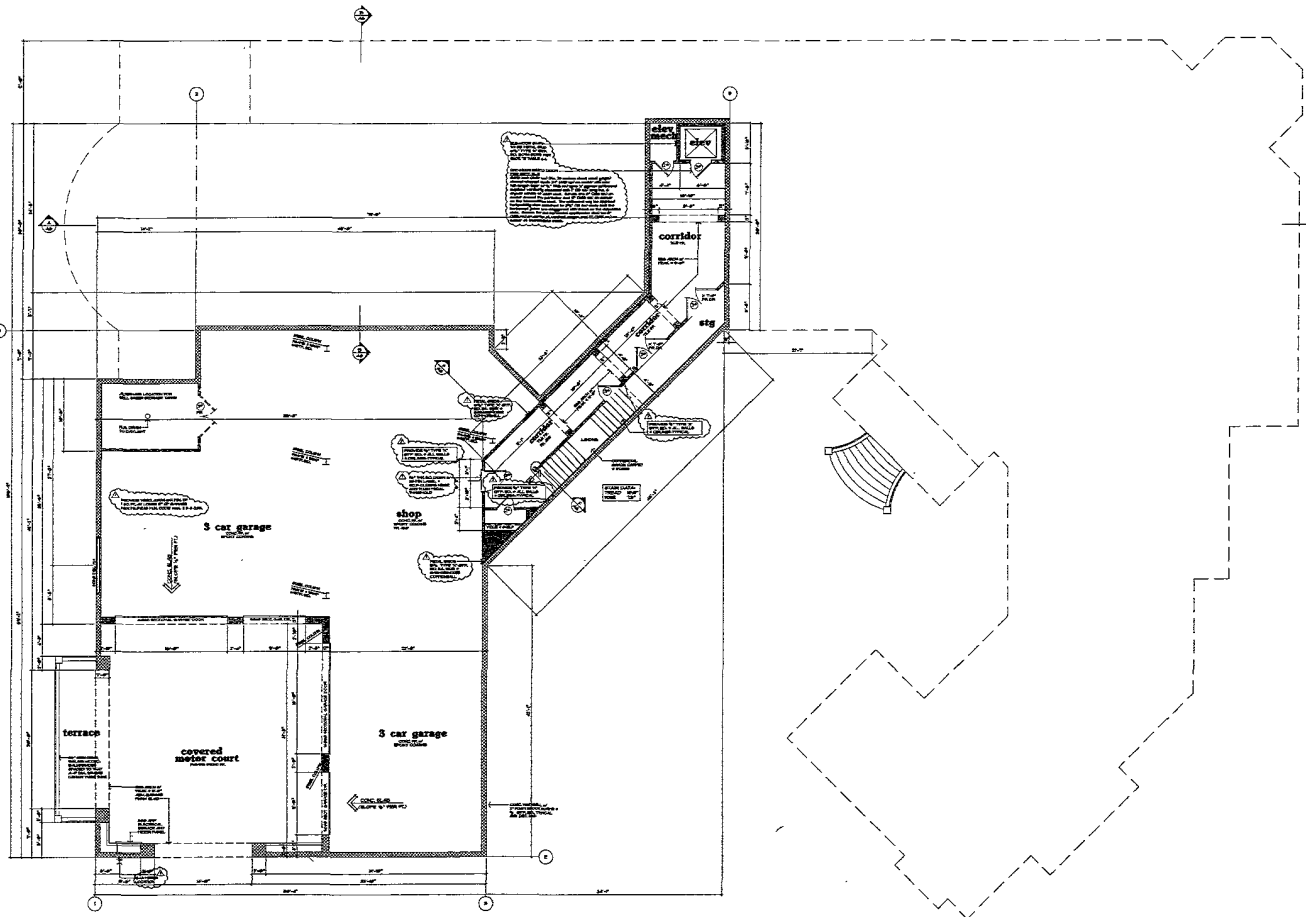
AIR DUCTS IN GARAGE THAT PASS THRU LIVING/ GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER PER U.B.C.

PROVIDE FIRE STOPS IN OPENINGS & FLOOR & CEILING OF ALL FIREPLACES PER U.B.C.

PROVIDE A.C.O.C. SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA. ALL DETECTORS TO BE INTERCONNECTED TYPICAL.

**ZONED CLIMATE CONTROL**  
ROOM VENTILATION SHALL BE PROVIDED THROUGH THE ZONED HVAC SYSTEM. CONNECTED TO EACH HVAC UNIT'S INTAKE PLenum SHALL BE AN AIR DUCT INSTALLED FOR THE PURPOSE OF COLLECTING FRESH OUTSIDE AIR. PREFERABLY FROM THE NORTH SIDE OF THE HOME. EACH OF THESE FRESH-AIR DUCTS SHALL BE EQUIPPED WITH A LOW-VOLTAGE ELECTRIC DAMPER CONTROLLED BY A CENTRALIZED CENTRAL SYSTEM AS WELL AS ON-DEMAND BY THE OCCUPANTS. THIS DESIGN WILL ALLOW THE OCCUPANTS TO OBTAIN FRESH OUTSIDE AIR FROM BY ROOM AS DESIRED, THAT IS FILTERED AND CONDITIONED BEFORE ENTERING THE HOME.

ALL PRATTING TO BE METAL STUD CONSTRUCTION WITH 1/2" GYPSUM BOARD, TYPICAL.



# Garage Level Floor Plan

3139 sq. ft. Garage Level



800 SANTA TERESA BLVD. SUITE 8  
SAN JOSE, CALIFORNIA 95128  
PHONE: (408) 227-6454  
FAX: (408) 227-6455  
E-MAIL: info@stotlerdesigngroup.com

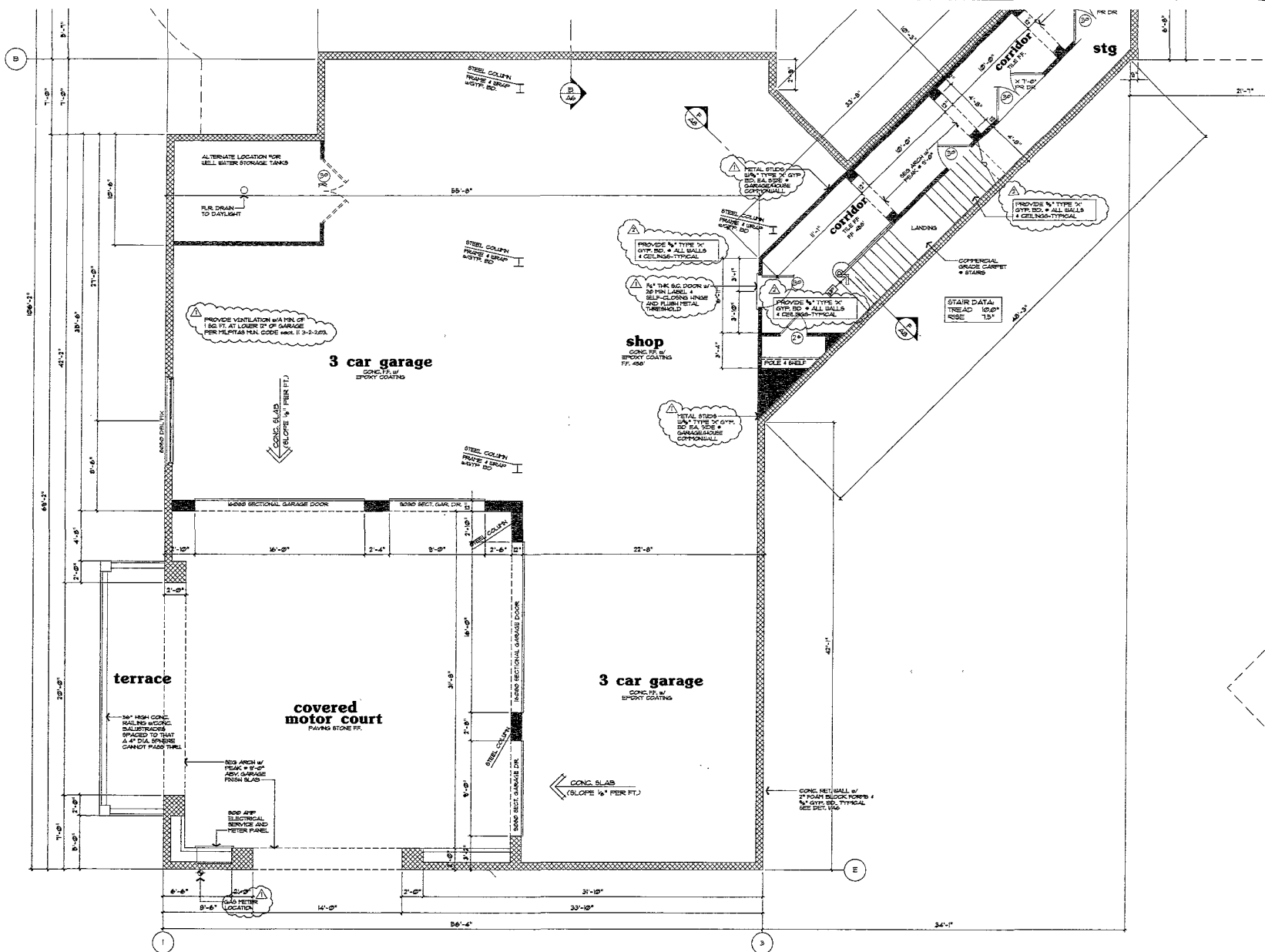
THE STATE OF CALIFORNIA HAS A LAW THAT REQUIRES ALL ARCHITECTS TO BE LICENSED BY THE BOARD OF ARCHITECTURE. THE BOARD OF ARCHITECTURE HAS A LAW THAT REQUIRES ALL ARCHITECTS TO BE LICENSED BY THE BOARD OF ARCHITECTURE. THE BOARD OF ARCHITECTURE HAS A LAW THAT REQUIRES ALL ARCHITECTS TO BE LICENSED BY THE BOARD OF ARCHITECTURE.

DATE	08/11/03
SCALE	1/8" = 1'-0"
PROJECT MANAGER	D. MERCADO
DRAWN	CALENE
JOB NO.	025
SHEET	

DATE	08/11/03
SCALE	1/8" = 1'-0"
PROJECT MANAGER	D. MERCADO
DRAWN	CALENE
JOB NO.	025
SHEET	

DATE	08/11/03
SCALE	1/8" = 1'-0"
PROJECT MANAGER	D. MERCADO
DRAWN	CALENE
JOB NO.	025
SHEET	

**A3**



1000 SANTA TERESA BLVD, SUITE 1  
SAN JOSE, CALIFORNIA 95128  
PHONE: (408) 227-7404  
FAX: (408) 227-6465  
E-MAIL: cbs@stotlerdesigngroup.com

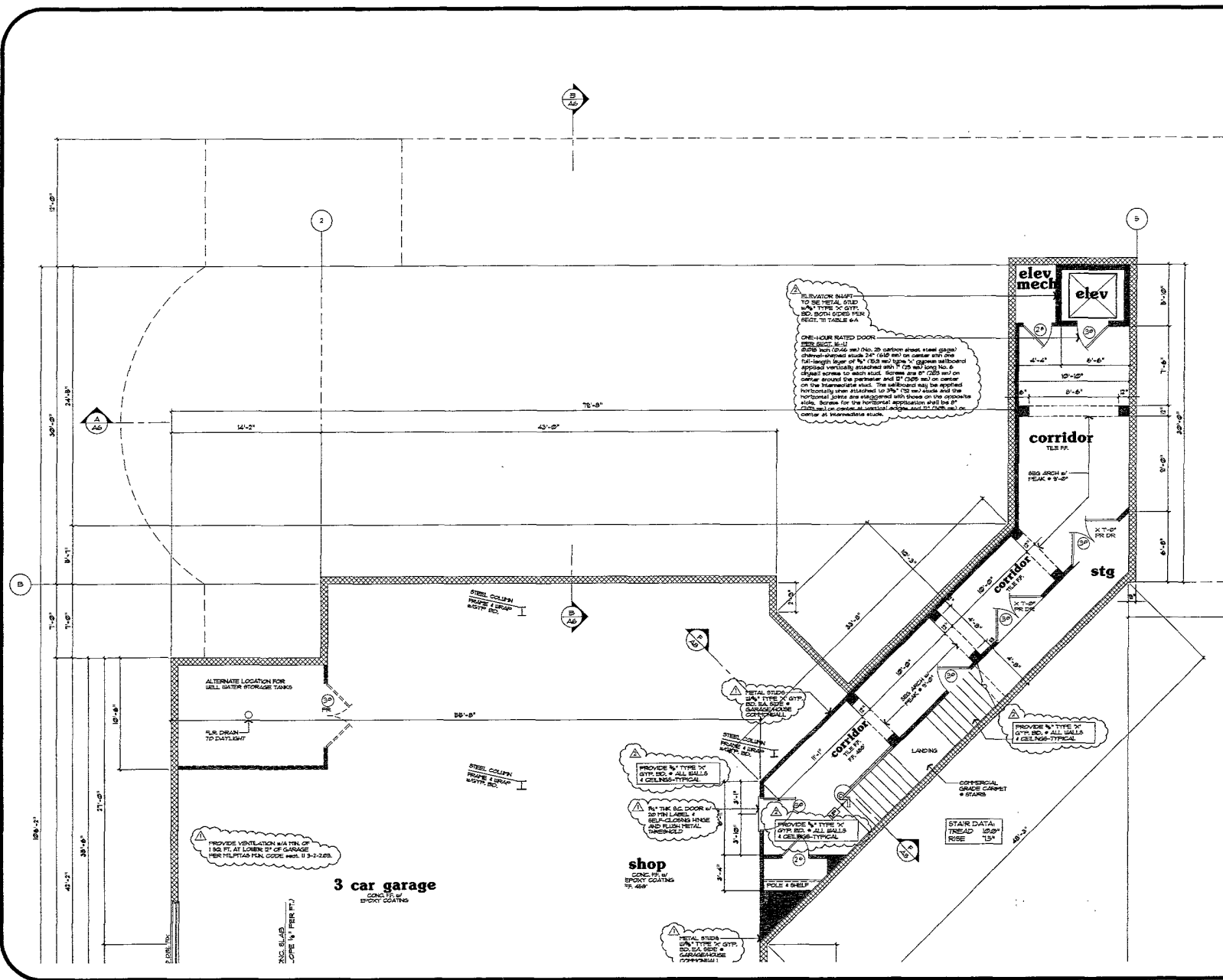
THESE PLANS AND SPECIFICATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL CITY, COUNTY, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

REVISIONS	DATE	BY	DESCRIPTION
1	8/11/03	PLAN OK	KE
2	8/12/03	PLAN OK	KE

DRAWING TITLE	Garage/Basement Level Floor Plan
PROJECT TITLE	Martinez Residence
PROJECT ADDRESS	1000 Country Club Drive Milpitas, California

DATE	REV. 08/11/03
SCALE	1/4" = 1'-0"
PROJECT MANAGER	D. MERCADO
DRAWN	KAILINE
JOB NO.	0215
SHEET	

A3a



1000 SANTA TERESA BLVD. SUITE B  
SAN JOSE, CALIFORNIA 95128  
PHONE: (408) 257-4404  
FAX: (408) 227-4466  
E-MAIL: stotterdesigngroup.com

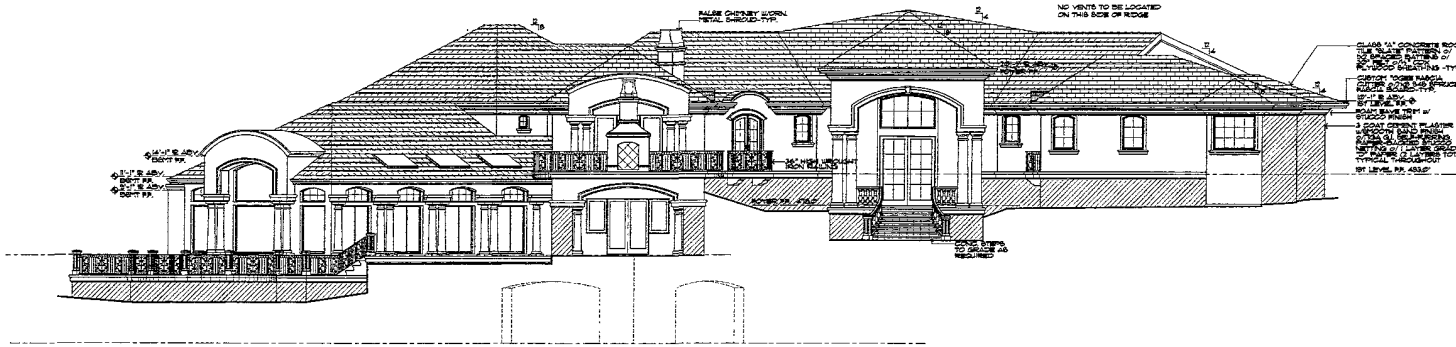
THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE USER'S NEGLIGENCE OR FOR THE USER'S FAILURE TO OBTAIN NECESSARY PERMITS. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE USER'S NEGLIGENCE OR FOR THE USER'S FAILURE TO OBTAIN NECESSARY PERMITS.

REVISIONS  
 1. 8/11/03 PLAN OK KE  
 2. 10/10/03 PLAN OK KE

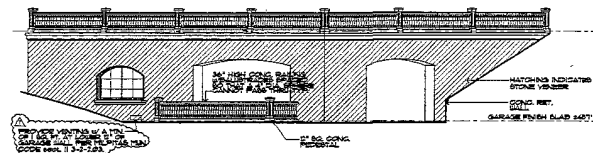
DRAWN TITLE  
 GARAGE/BASEMENT LEVEL FLOOR PLAN  
 JOB TITLE  
 MARTINEZ RESIDENCE  
 1000 COUNTRY CLUB DRIVE  
 MUIPITAS, CALIFORNIA  
 JOB ADDRESS

DATE  
 REV. 08/11/03  
 SCALE  
 1/4" = 1'-0"  
 PROJECT MANAGER  
 D. MERCADO  
 DRAWN  
 K. LARSEN  
 JOB NO.  
 025  
 SHEET

A3b



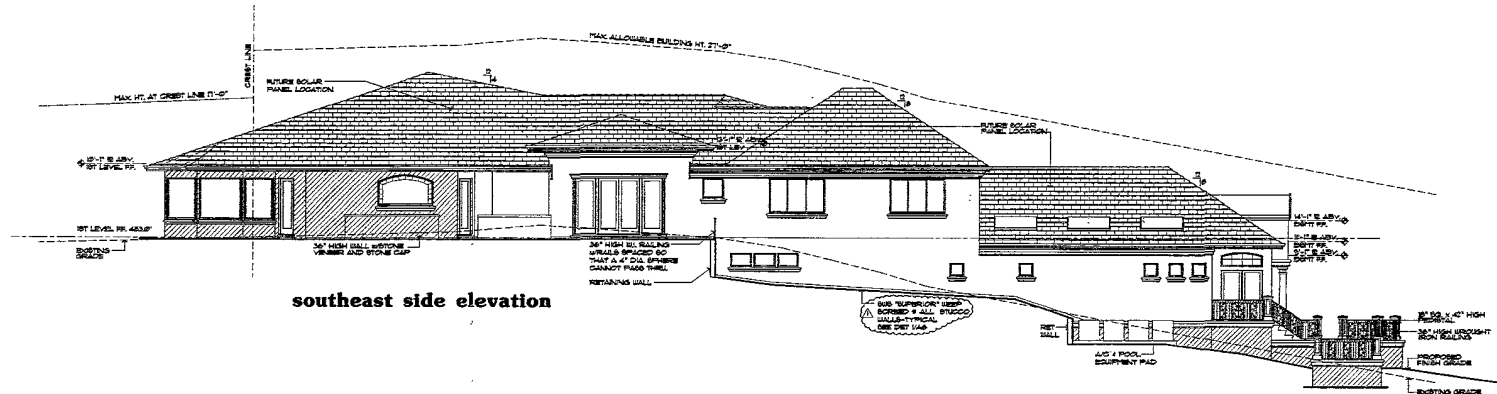
front elevation (north side)



garage elevation (north side)

**COLORS:**

**BODY:** Greystone (km230)  
**TRIM:** Navajo White (km1240-36)  
**STONE:** El Dorado "Cheyenne Limestone" (overgrout installation)  
**GUTTER:** Patina Finish  
**WINDOW FRAMES:** Patina Finish  
**CONCRETE:** Earth-tone brown w/charcoal  
**ROOF TILE:** grey blend slate pattern



southeast side elevation



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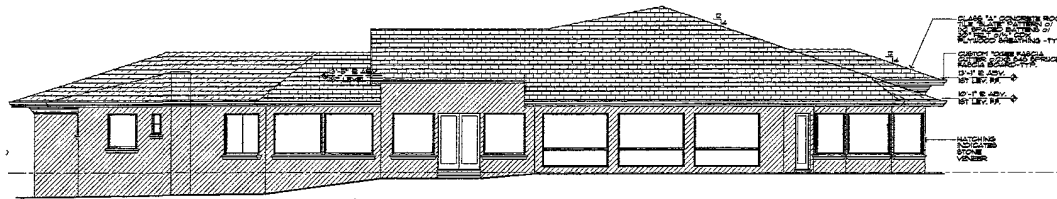
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1/1/03	PLAN	OK	KE

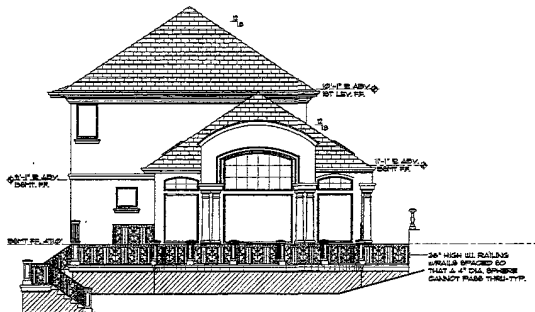
Exterior Elevations	
Martinez Residence	
1800 Country Club Drive	
Milpitas, California	
DRAWING TITLE	DATE
JOB TITLE	DATE
JOB ADDRESS	DATE

DATE	08/11/03
SCALE	1/8" = 1'-0"
PROJECT MANAGER	D. MERCADO
DRAWN	K. LILLY
JOB NO.	0015
SHEET	

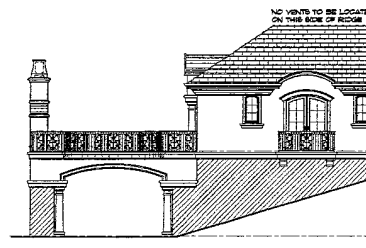
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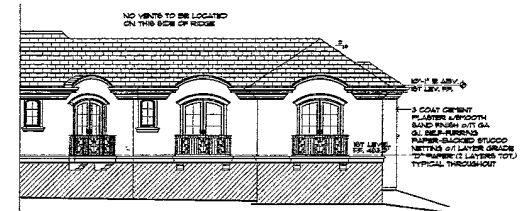
southwest side elevation



partial • pool pavilion  
(northeast side)



partial • left side of entry



partial • right side of entry



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REVISION	DATE	BY	CHK
01/02/03	PLAN OK		

EXTERIOR ELEVATIONS	DATE	08/11/03
Martinez Residence	PROJECT MANAGER	D. MERCADO
1000 Country Club Drive	DRAWN	KAILINE
Milpitas, California	JOB NO.	0215
	SHEET	

DATE	REV.	08/11/03
SCALE	1/8" = 1'-0"	
PROJECT MANAGER	D. MERCADO	
DRAWN	KAILINE	
JOB NO.	0215	
SHEET		





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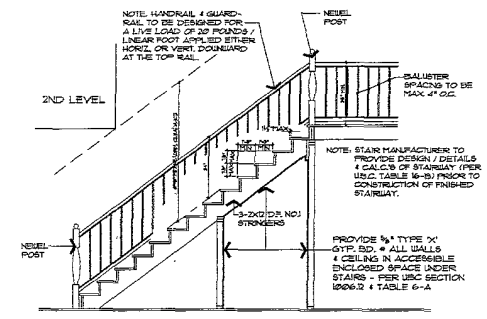
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DATE	12/10/03	BY	KE
REVISION	1	DATE	12/10/03
DESCRIPTION	PLAN OK	BY	KE
	PLAN OK	BY	KE

Cross Sections	Martinez Residence
1000 Country Club Drive	Milpitas, California
DATE	08/11/03
SCALE	1/4" = 1'-0"
PROJECT MANAGER	D. MERCADO
DRAWN	KAILIENE
CHECKED	22/12

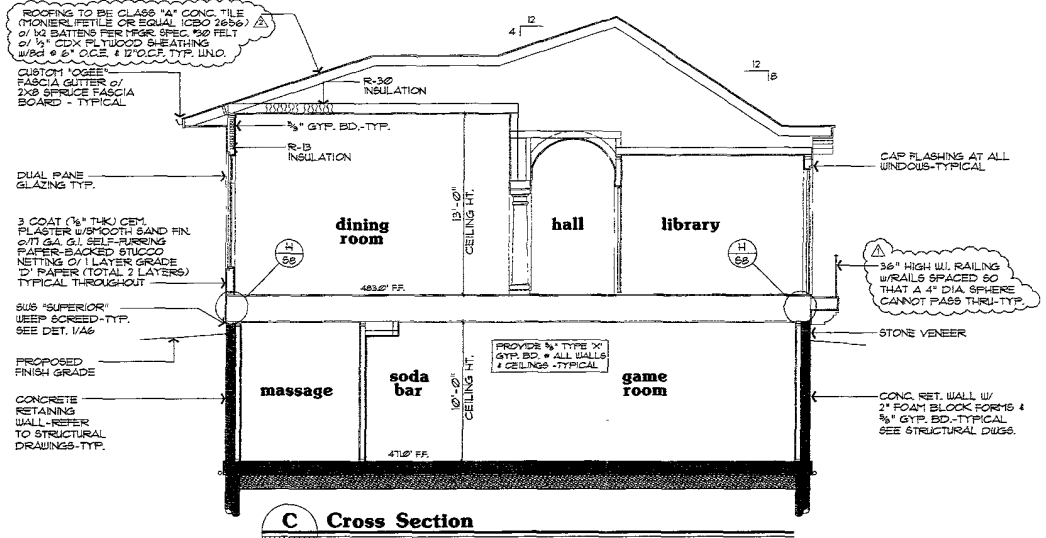
DATE	08/11/03
SCALE	1/4" = 1'-0"
PROJECT MANAGER	D. MERCADO
DRAWN	KAILIENE
CHECKED	22/12

**A7**

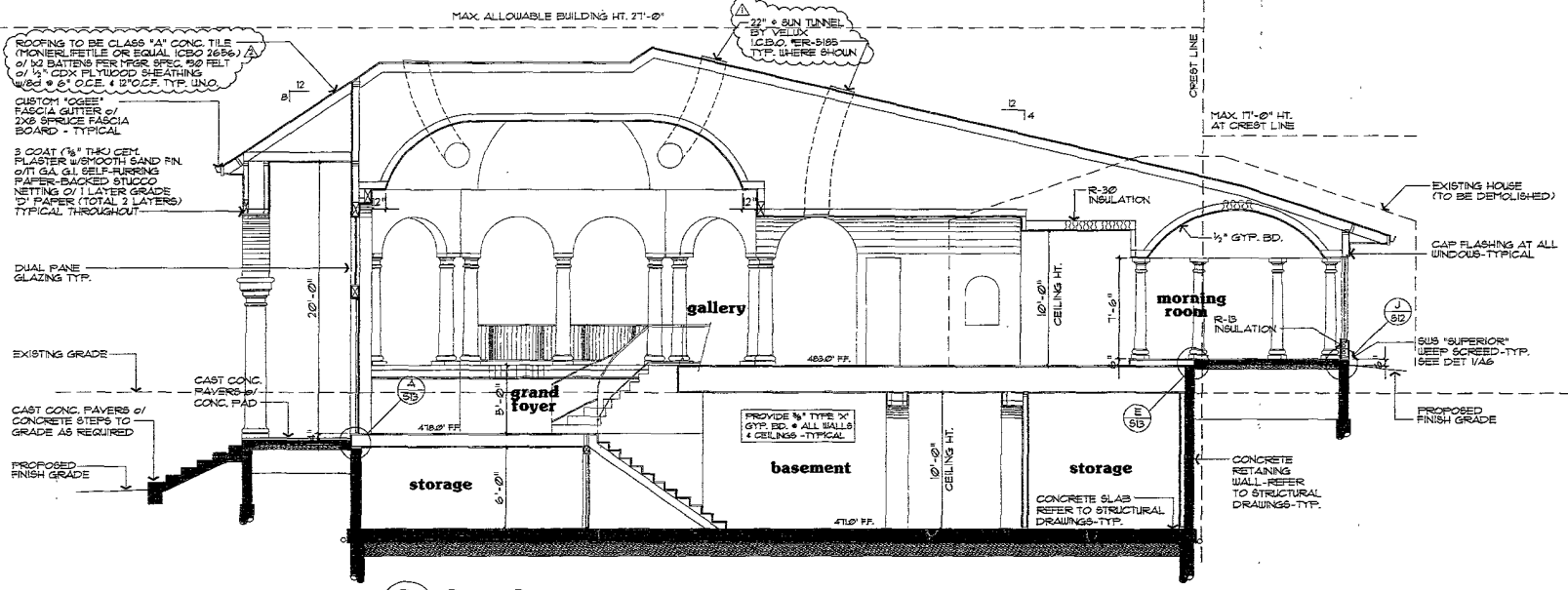


**5 TYPICAL STAIR DETAIL**

- 1) IN CONCEALED SPACES OF STUD GALLS AND PARTITIONS, INCLUDING FINISHED SPACES AT THE CEILING AND FLOOR LEVELS AND AT 5'-0" INTERVALS BOTH VERTICAL AND HORIZONTAL.
- 2) AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT ROOF, DROP CEILING AND COVE CEILING.
- 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN WIDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE FINISHED.
- 4) IN OPENINGS AROUND VENTS, PIPES, DUCTS, GUTTERNS, FIREPLACES AND SIMILAR OPENINGS (BACH APPROX. A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS WITH NONCOMBUSTIBLE MATERIALS).
- 5) AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.



**C Cross Section**

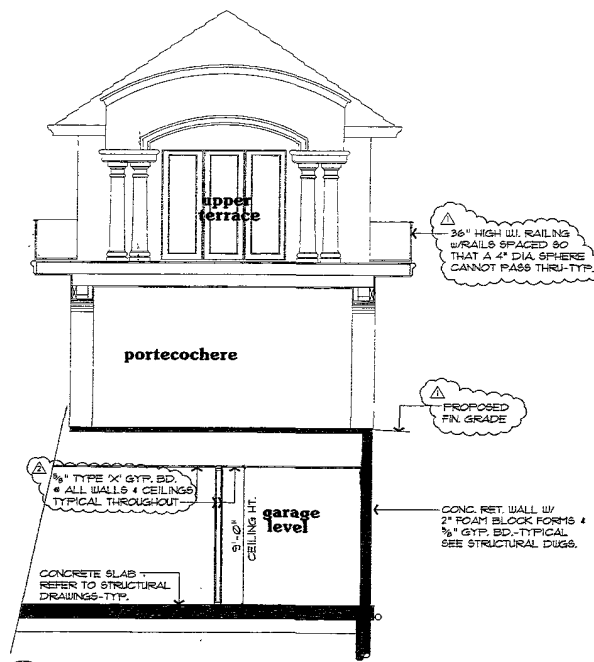


**D Cross Section**

[illegible]

**5 ELEVATOR SHAFT/PIT DETAIL**

**ONE-HOUR RATED DOOR**  
**FR-600 (2 1/2" x 8 1/2")**  
 1) FR-600 (2 1/2" x 8 1/2") No. 25 carbon steel, steel gasket, channel-steel base (2 1/2" x 6 1/2") on center with one full-length layer of 3/8" (200 mil) type "A" galvanized steelboard vertically attached with 1/2" (125 mil) long No. 6 drill screws to each stud. Screws are at (250 mil) on center around the perimeter and (2" (500 mil) on center on the intermediate stud. The steelboard shall be applied horizontally when attached to 3/4" (188 mil) studs and the vertical joints shall be staggered and staggered on the opposite side. Screws for the horizontal application shall be 1/2" (125 mil) on center at vertical edges and 2" (500 mil) on center at intermediate studs.



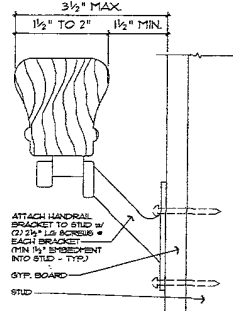
**F Cross Section**

Architectural elevation drawing of a house with a gabled roof. The drawing includes the following details and specifications:

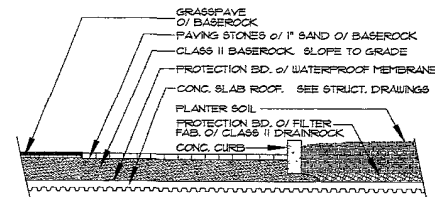
- Roof:** Gabled roof with a 12/12 pitch. Roofing to be Class 1 Mineral Feltile or EQ 0/12 Battens per spec. 0/1 1/2 CDX Plywood 5/8" x 6" O.C.E. 1" D.O.S.
- Exterior Walls:**
  - Stone Veneer on the lower portion of the walls.
  - Cap Flashing at All Joints - Double Typical.
- Windows:**
  - Living Room: 19'-4" Ceiling Ht., 483.0" F.F. (Finish Floor).
  - Hall: 36" High W/L Railing w/Rails Spaced So That A 4" Dia Sphere Cannot Pass Thru - Typical.
- Roofing Details:**
  - R-30 Insulation (attic).
  - R-13 Insulation (exterior walls).
  - R-19 Insulation (below slab).
- Flooring:**
  - Sub Floor.
  - Sub "Superior" Weep Screed - Typ. See Det 3/A6.
  - Proposed Finish Grade.
- Other Details:**
  - Custom "Cage" Fascia Gutter 2" x 8" Spruce Fascia Board - Typical.
  - Dual Pane "Climaxing Typ." (likely Climaxing Typ.).
  - 3 Coat (1/2" Thk) Cem. Plaster w/Smooth Band Fin. 0/1 GA. GL Self-Finishing Paper-Baked Stucco Netting 0/1 Layer Grade "D" Paper (Total 2 Layers) Typical Throughout.

### **G Cross Section**

NOTE: CROSS SECTIONS ARE FOR ARCHITECTURAL PURPOSES ONLY.  
REFER TO STRUCTURAL FOR ALL FRAMING AND DETAILS



#### 4 TYPICAL HANDRAIL DETAIL



**6 SECTION AT GARAGE ROOF**

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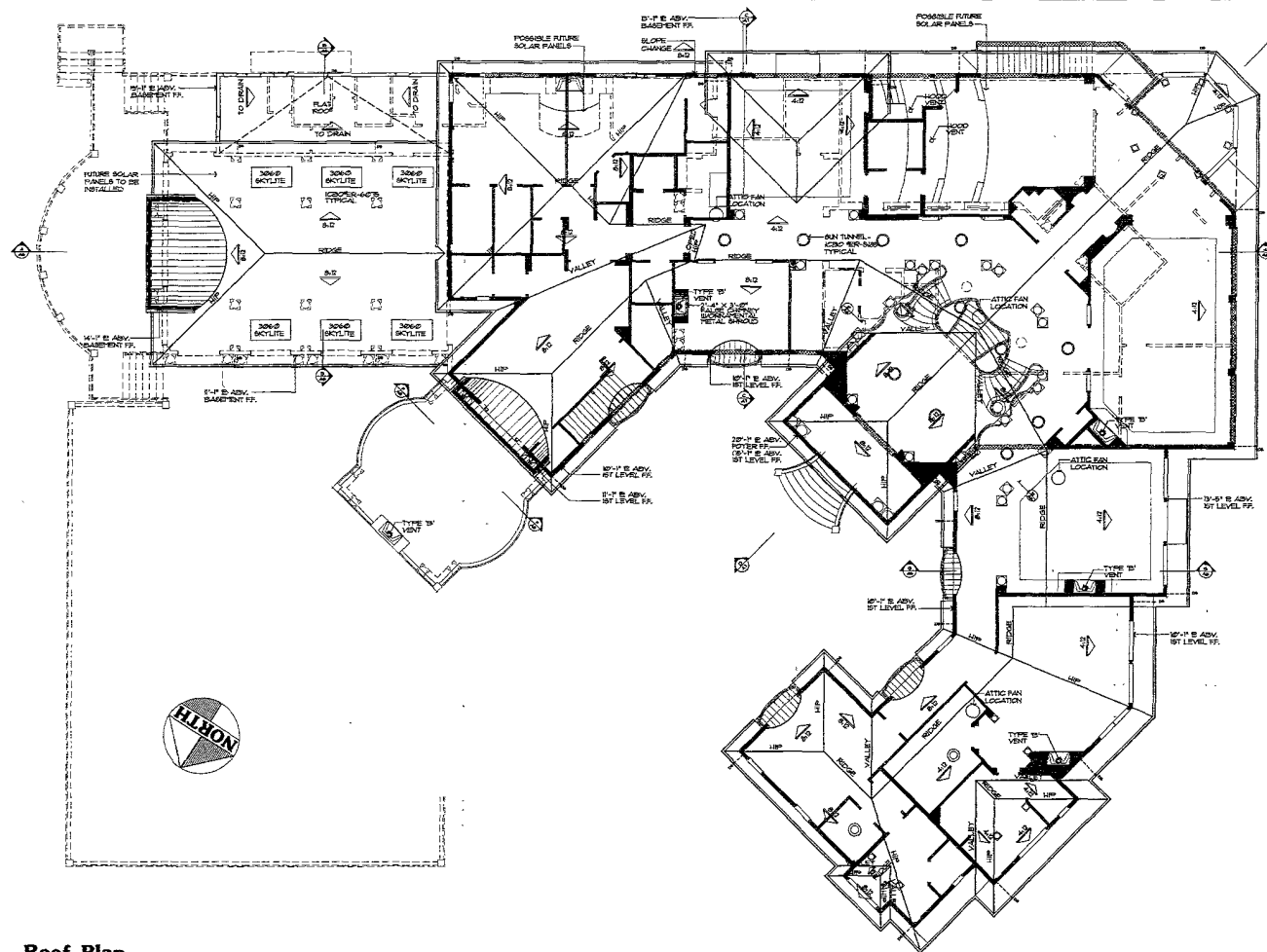
[illegible]

RELWOOD	$\Delta$ B11/023	FLAN CK	KE
	$\Delta$ D21/01023	FLAN CK	KE

<b>Cross Sections</b>
Martinez Residence
1000 Country Club Drive Milpitas, California

DRAWING TITLE	JOB TITLE	JOB ADDRESS
DATE REV. 08/11/03	SCALE 1/4" = 1'-0"	PROJECT MANAGER D. MERCADO
DRAWN KAILENE	JOB NO. 0215	
SHEET		





# Roof Plan

## ROOF PLAN NOTES:

ROOF SLOPE IS TO BE 4:12 AND 8:12  
 ARROWS INDICATE DIRECTION OF ROOF SLOPE.  
 PLATE HEIGHT IS TO BE 12" MIN. UNO.  
 OVERHANGS ARE TO BE 36" AT 4:12 PITCH ROOF  
 OVERHANGS ARE TO BE 18" AT 8:12 PITCH ROOF  
 PROVIDE LEAVE VENTS FOR ATTIC VENTILATION  
 PER U.B.C. TYPICAL.  
 INSTALL GL. MATERIAL ROOF JACKS FOR  
 PLUMBING VENTS, ETC. AS REQUIRED.  
 NO VENTS OR PROJECTIONS TO BE VISIBLE  
 FROM "NORTH" SIDE OF MAIN RIDGELINE

INSTALL CUSTOM GUTTER W/ DOWNSPOUTS. 28.  
 ALL DOWNSPOUTS SHALL BE CONNECTED TO AN ENCLOSED  
 STORM DRAINAGE SYSTEM. SEE C-4.  
 ROOFING TO BE CLASS "A" CONC. TILE/  
 MONIER TILE OR EQUAL. 1200 Q/SS. 28.  
 1/2" BATTENS PER FIG. SPEC. 28-RESLT.  
 OF 1/2" COX PLYWOOD SHEATHING  
 W/ 3/4" x 6" O.C.E. 1 D/200 TYP. UNO.  
 (FOR HIGH WIND CONDITIONS)  
 ALL EXTERIOR BALCONIES AND SPILAR SURFACES  
 EXPOSED TO WEATHER TO HAVE POL-I-GUARD  
 WATERPROOFING 1200 4289.  
 ATTIC VENTILATION:  
 75% SF. OF ATTIC SPACE = 80' x 11 SF.  
 11 SF. x 14 60 INCHES = 1596 SQ. INCHES REQ'D  
 (PROVIDE 12 3" DIA. HOLES = FREEZE BLOCK +  
 21 60 INCHES OF VENTING PER BLOCK  
 1596 SQ. INCHES REQ'D = 21 60 INCHES  
 (PER BLOCK) = 520 BLOCKS REQ'D  
 PROVIDE VENTING BLOCK + 5200 OTHER WATER BAY  
 (NOTE: CONTINUOUS VENTING = 24 60 INCHES PER LINEAL FT.)



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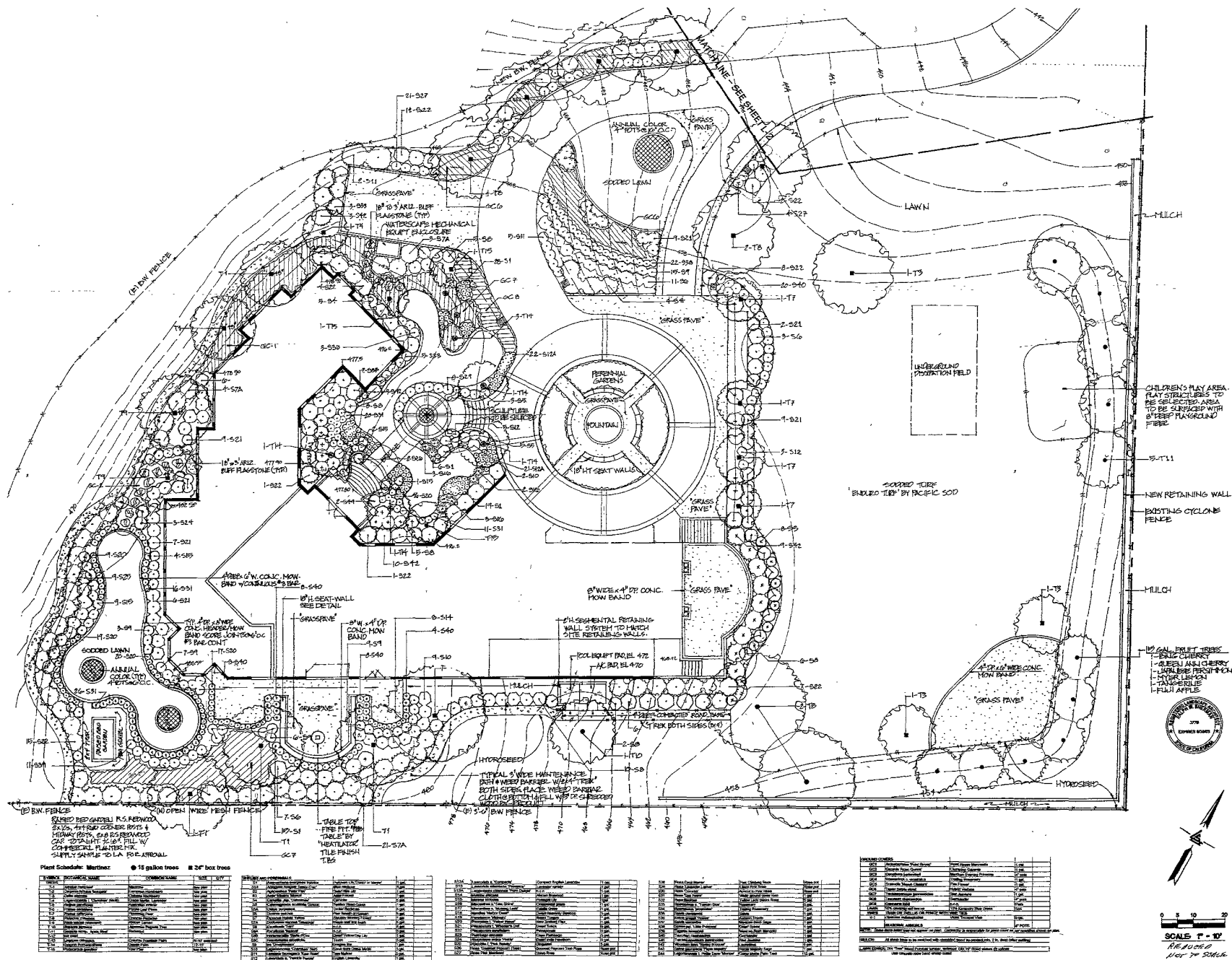
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DATE	8/11/03	PLAN	CK	KE
DATE	10/10/03	PLAN	CK	KE

PROJECT TITLE	Roof Plan
PROJECT NAME	Martinez Residence
PROJECT ADDRESS	1000 Country Club Drive Milpitas, California

DATE	REV. 08/11/03
SCALE	1/8" = 1'-0"
PROJECT MANAGER	D. MERCADO
DRAWN	KAILENE
JOB NO.	0215
SHEET	

A11



MARTINEZ RESIDENCE  
1000 COUNTRY CLUB DR.  
MILPITAS, CALIFORNIA

SHEET TITLE  
PLANTING PLAN

SHEET NO.  
L-1  
OF 5



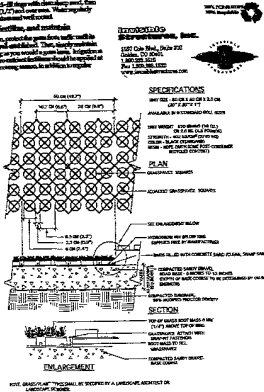
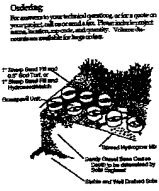




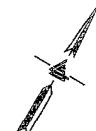
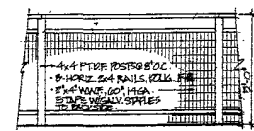
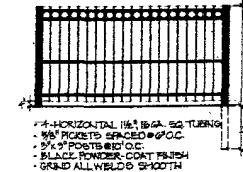
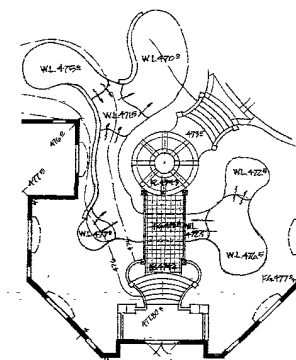
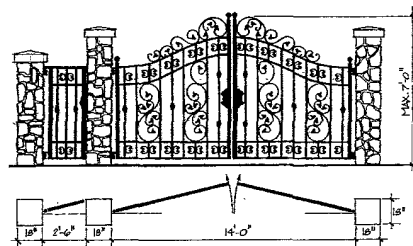
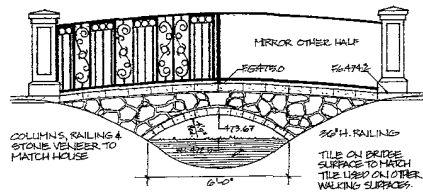
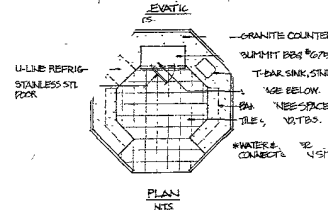
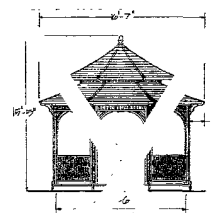
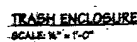
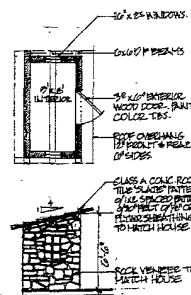
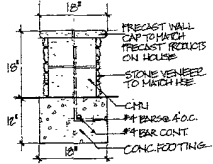
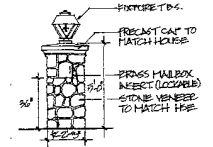
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- Gasquev<sup>2</sup> installs in Five Easy Steps**  
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### "GRASSPAVE" DETAILS AND SPECIFICATIONS



MARTINEZ RESIDENCE  
1000 COUNTRY CLUB DR.  
MILPITAS, CALIFORNIA

SHEET TITLE

**CONSTRUCTION  
DETAILS**

SHEET NO.  
L-5  
OF 5

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